



**Winkleman Designs**  
 1795 Amaya Ridge Road Soquel, CA 95073  
 408.353.6700 bill@winklemandesigns.com

**The De Anza**  
 De Anza Properties  
 10931 N De Anza Blvd, Cupertino, CA

SE View Evening

A11.01n

Drawn Author  
 Scale  
 Date 4/19/19



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**The De Anza**  
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South View

A11.02

Drawn W  
 Scale  
 Date 4/19/19



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West View

A11.03

Drawn W  
 Scale  
 Date 4/19/19



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NW View

A11.04

Drawn Author  
 Scale  
 Date 4/19/19



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 408.353.6700 bill@winklemansdesigns.com

**The De Anza**  
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NW from Homestead Rd

**A11.05**

Drawn Author  
 Scale  
 Date 04/19/19



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 1795 Amaya Ridge Road Soquel, CA 95073  
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**The De Anza**  
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North View

A11.06

Drawn W  
 Scale  
 Date 4/19/19



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 408.353.6700 bill@winklemandesigns.com

**The De Anza**  
 De Anza Properties  
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North View Evening

A11.06n

Drawn Author  
 Scale  
 Date 4/19/19



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 408.353.6700 bill@winklemandesigns.com

**The De Anza**  
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NE View

A11.07

Drawn Author  
 Scale  
 Date 4/19/19





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NE View Evening

A11.07n

Drawn Author  
 Scale  
 Date 4/19/19



**DARK GREY GLAZING**



**GLAZING 3 (GL3)**

**CLEAR GLAZING**



**GLAZING 2 (GL2)**

**LIGHT GREY GLAZING**



**GLAZING 1 (GL1)**

**GREEN SCREEN CORTEN**



**METAL 3 (M3)**

**ZINC**



**METAL 1 (M1)**

**CONCRETE, SMOOTH FINISH**



**SMOOTH CONCRETE (SC)**

**CONCRETE, BOARD-FORM FINISH**



**BOARD FORMED CONCRETE (BFC)**

**CORTEN**



**METAL 2 (M2)**



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**Materials Board**

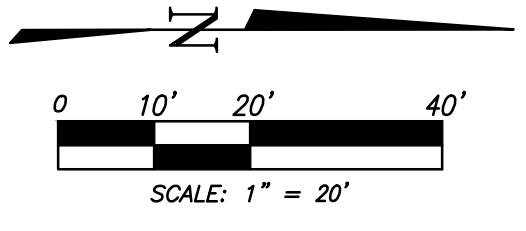
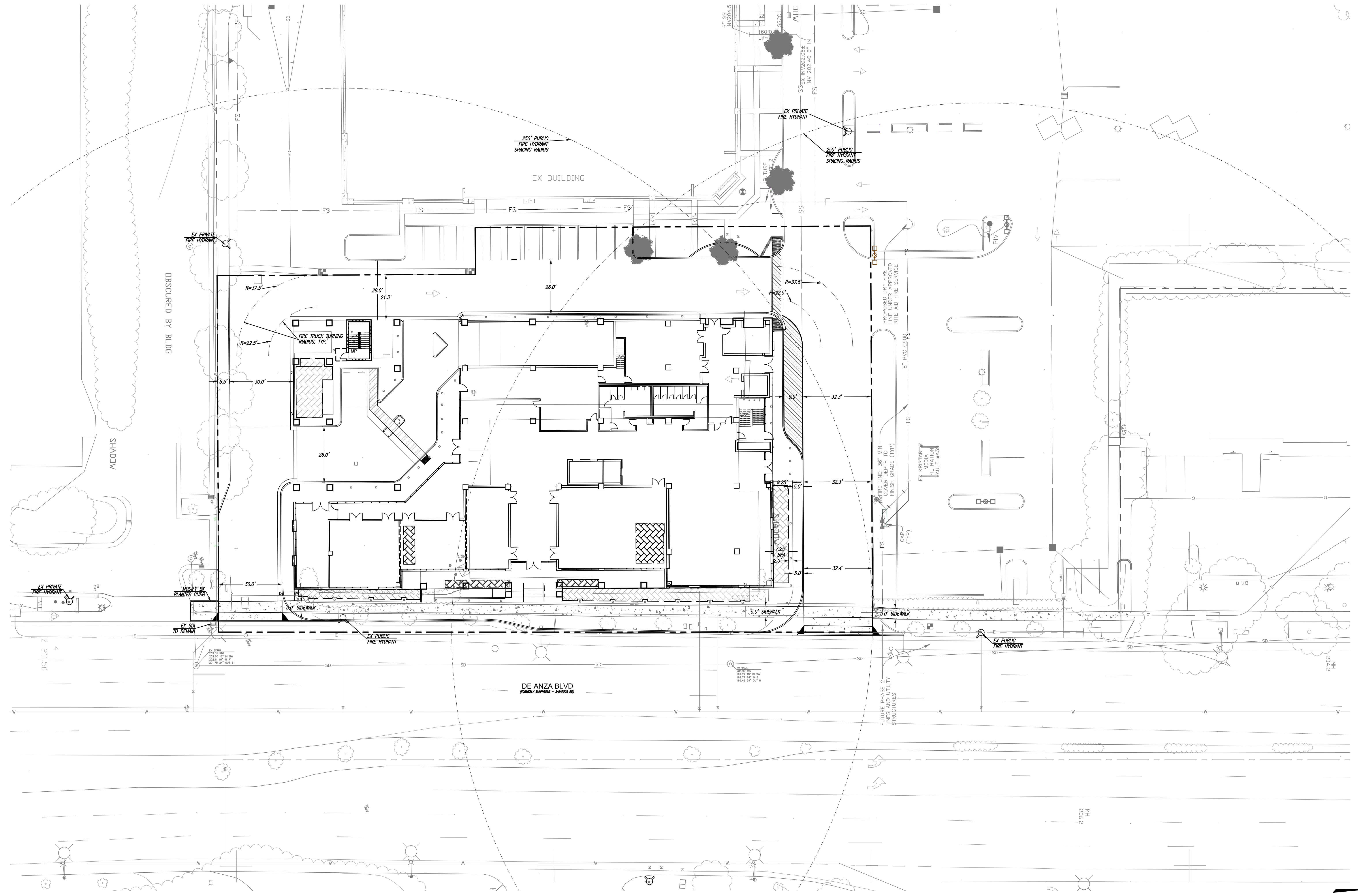
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Drawn Author  
 Scale  
 Date 3/6/19



Winkelman Designs  
 1795 Amaya Ridge Road  
 Soquel, CA 95073  
 Tel: 408-353-9700  
 Fax: 408-353-4729  
 bill@winkelman.com

JMH WEISS, INC.  
 1731 Technology Drive, Suite 800  
 San Jose, CA 95110  
 (408) 288-4555



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THE DE ANZA  
 De Anza Properties  
 10931 N De Anza Blvd, Cupertino, CA

FIRE HYDRANT  
 SITE PLAN

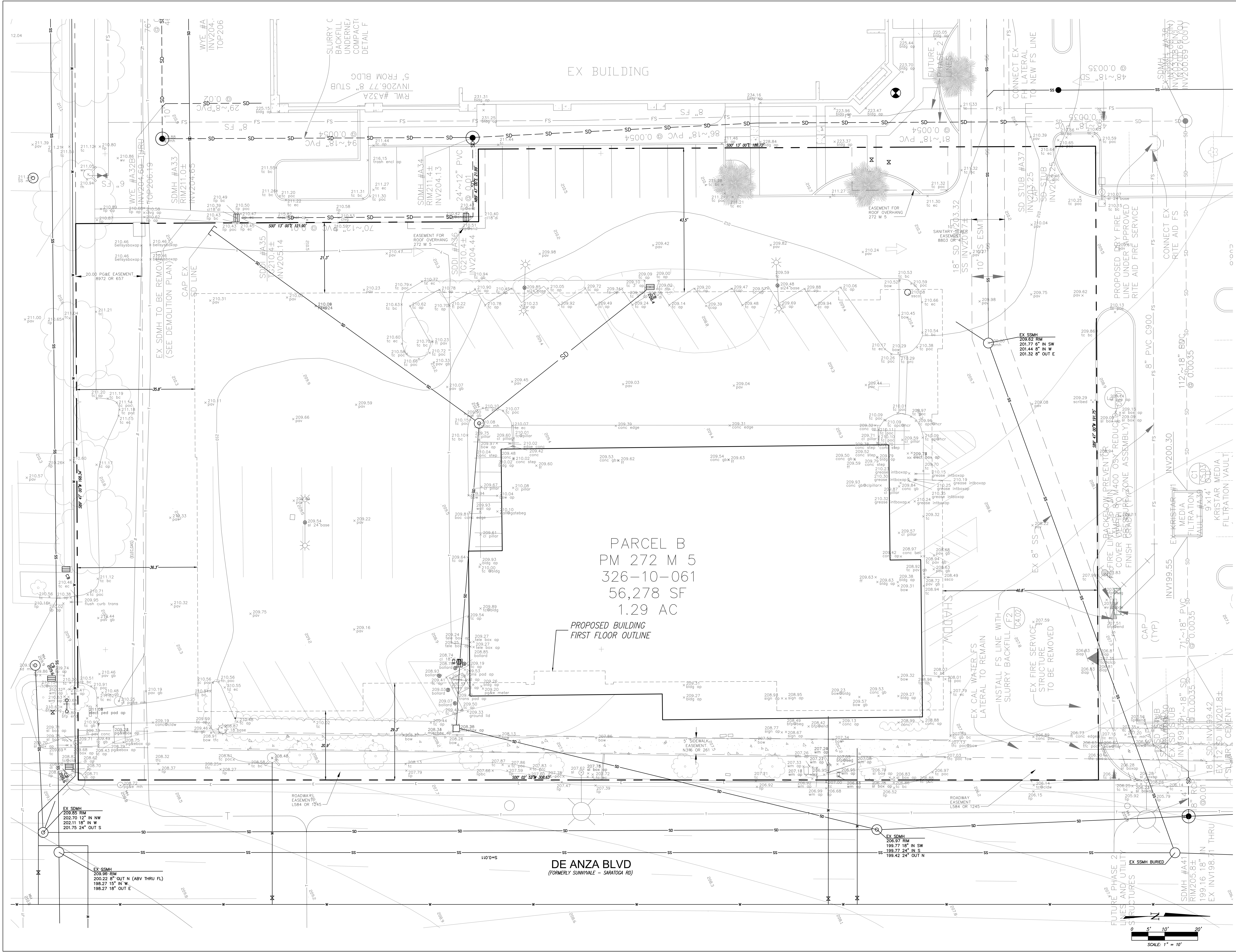
REVISIONS

No.	Date	Description

Date:	04/19/19
Drawn:	04/19/19
Check:	AS-SHOWN
Scale:	OG
Sheet:	5132

C1.1

DWG: NAME: P11332 - 10931 N De Anza Blvd, Cupertino, CA (Property) 10.10.18, C1.1, SITE PLAN, LAST EDITED: Wed, Apr 17, 2019 8:36am  
 USER: jgomez, ADDRESS: E:\2019\10931 N De Anza Blvd, Cupertino, CA (Property)\10.10.18\C1.1 SITE PLAN.dwg, AUTHOR: JGomez, DATE: 4/17/2019



DATE: 04/19/19  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: [Name]  
 SHEET: C1.0 OF 1

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 Soquel, CA 95073  
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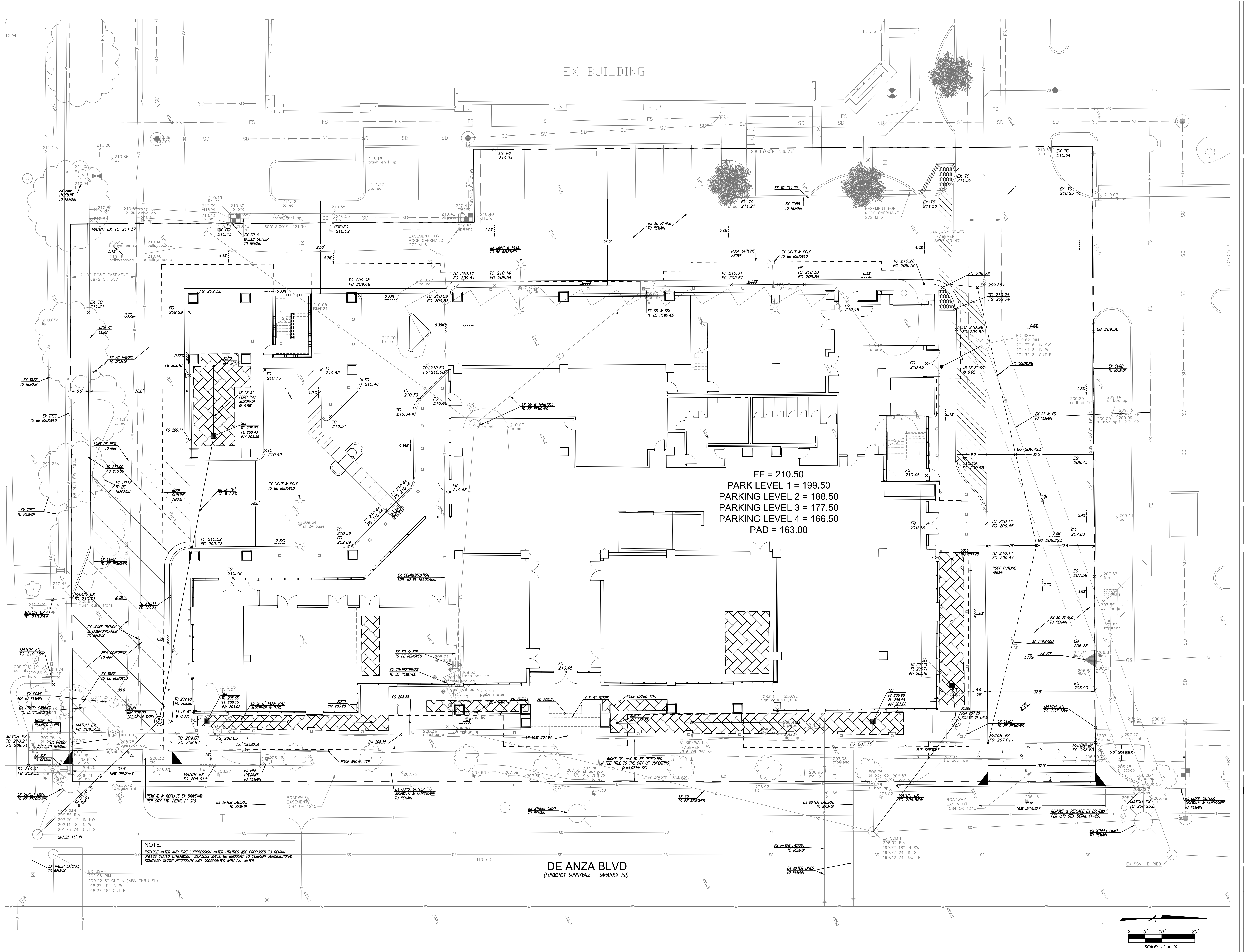
**THE DE ANZA**  
 De Anza Properties  
 10931 N De Anza Blvd, Cupertino, CA

**EXISTING CONDITIONS**

REVISIONS		
No.	Date	Description

04/19/19  
 04/19/19  
 AS-SHOWN  
 OG  
 5132

**C1.0**  
 SCALE: 1" = 10'



DATE: 04/19/19  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: 10931 N De Anza Blvd, Cupertino, CA  
 SHEET: C2.0 OF C2.0  
 SCALE: 1" = 10'  
 PROJECT NO.: [Number]  
 CLIENT: THE DE ANZA  
 DESIGNER: WINKELMAN DESIGNS  
 DATE: APR 17, 2019 8:40 AM

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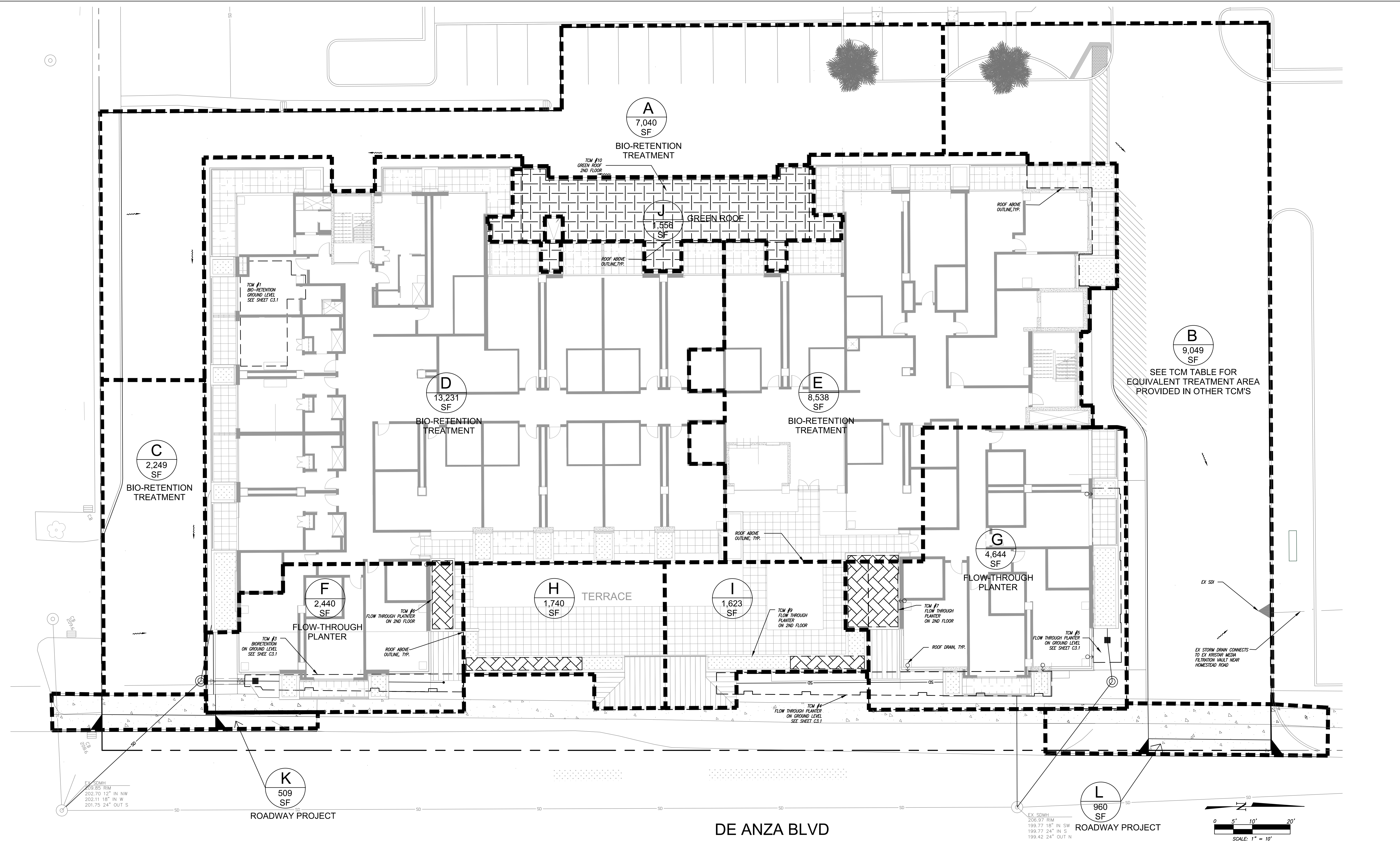
THE DE ANZA  
De Anza Properties  
10931 N De Anza Blvd, Cupertino, CA

CONCEPTUAL  
STORMWATER  
MANAGEMENT  
PLAN  
SECOND  
FLOOR

REVISIONS

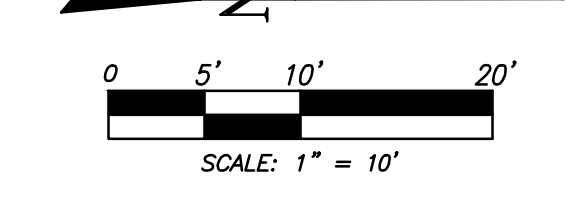
No.	Date	Description
01	04/19/19	Issue for Review
02	04/19/19	Issue for Review
03	AS-SHOWN	AS-SHOWN
04	OG	OG
05	5132	5132

C3.0



**B**  
9,049 SF  
SEE TCM TABLE FOR EQUIVALENT TREATMENT AREA PROVIDED IN OTHER TCM'S

**L**  
960 SF  
ROADWAY PROJECT



TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE

ID AREA	TCM No.	Landscape (SF)	Parking & Sidewalk Area (SF)	Roof Area (SF)	Total Sub-Area (SF)	Area B Impervious Contribution (SF)	Area B Landscape Contribution (SF)	Total Area to be Treated (SF)	Total Area (Acres)	Total Impervious Area (SF)	Treatment Type	Treatment Area Required (SF)	Treatment Area Provided (SF)	Depth of Ponding (in)
A	1	429	6,611	0	7,040	2,625	137	9,802	0.23	9,236	Bio-retention	369	369	6
C	3	168	2,081	0	2,249	3,975	0	6,224	0.14	6,056	Bio-retention	242	242	6
D	4	0	0	13,231	13,231	0	0	13,231	0.30	13,231	Bio-retention	529	530	6
E	5	0	0	8,536	8,536	0	0	8,536	0.20	8,536	Bio-retention	341	341	6
F	6	0	0	2,440	2,440	0	0	2,440	0.06	2,440	Flow-Through Planter	98	98	6
G	7	0	0	4,644	4,644	1,612	0	6,256	0.14	6,256	Flow-Through Planter	250	250	6
H	8	0	0	1,740	800	0	0	2,540	0.06	2,540	Flow-Through Planter	102	102	6
I	9	0	0	1,623	1,623	0	0	1,623	0.04	1,623	Flow-Through Planter	65	65	6
J	10	1,556	0	0	1,556	0	0	1,556	0.04	0	Green Roof	N/A	N/A	N/A
<b>TOTAL</b>		2,153	8,692	32,214	43,059	9,012	137	52,208	1.20	49,918		1997	1997	

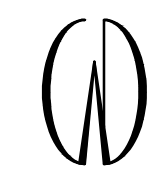
\*New pavement not creating a travel lane and new sidewalk created on an existing street are exempt from C.3 requirements for public roadway projects per Tabir 2-2 of the Chapter 2.3 of the C.3 Control Handbook (SCVURPPP, April 2012)

ID AREA	TCM No.	Landscape	Parking	Roof	Total	Total	Treatment Type
K	-	0	509	0	509	509	Roadway Project
L	-	0	960	0	960	960	Roadway Project

NOTE: THE REQUIRED TREATMENT AREA FOR DMA B IS DISTRIBUTED TO TCM'S AS EQUIVALENT TREATMENT AREA. THE AMOUNT OF EQUIVALENT TREATMENT AREA IS ACCOUNTED FOR UNDER AREA B CONTRIBUTION.

- STANDARD STORMWATER CONTROL NOTES:**
- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
  - DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

DWG: MMEC\_P11332 - 10931 N. De Anza Blvd. (De Anza Properties) Stormwater Management Plan (C3.0) - 2ND FLOOR PLAN - LATEST EDITION - Rev. 04/17/2019 8:33am  
 C3.0 - 2ND FLOOR PLAN - LATEST EDITION - Rev. 04/17/2019 8:33am  
 C3.0 - 2ND FLOOR PLAN - LATEST EDITION - Rev. 04/17/2019 8:33am



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Tel 408-353-6700  
Fax 408-353-4729  
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JMH WEISS, INC.  
2585 E. Highway 99, Suite 100  
1731 Technology Drive, Suite 800  
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(408) 288-4555

The Designer shall be responsible for obtaining all necessary permits and approvals from all applicable agencies and shall be responsible for providing all necessary information to the contractor. The Designer shall be responsible for providing all necessary information to the contractor. The Designer shall be responsible for providing all necessary information to the contractor.

THE DE ANZA  
De Anza Properties  
10931 N De Anza Blvd, Cupertino, CA

CONCEPTUAL  
STORMWATER  
MANAGEMENT  
PLAN  
FIRST FLOOR

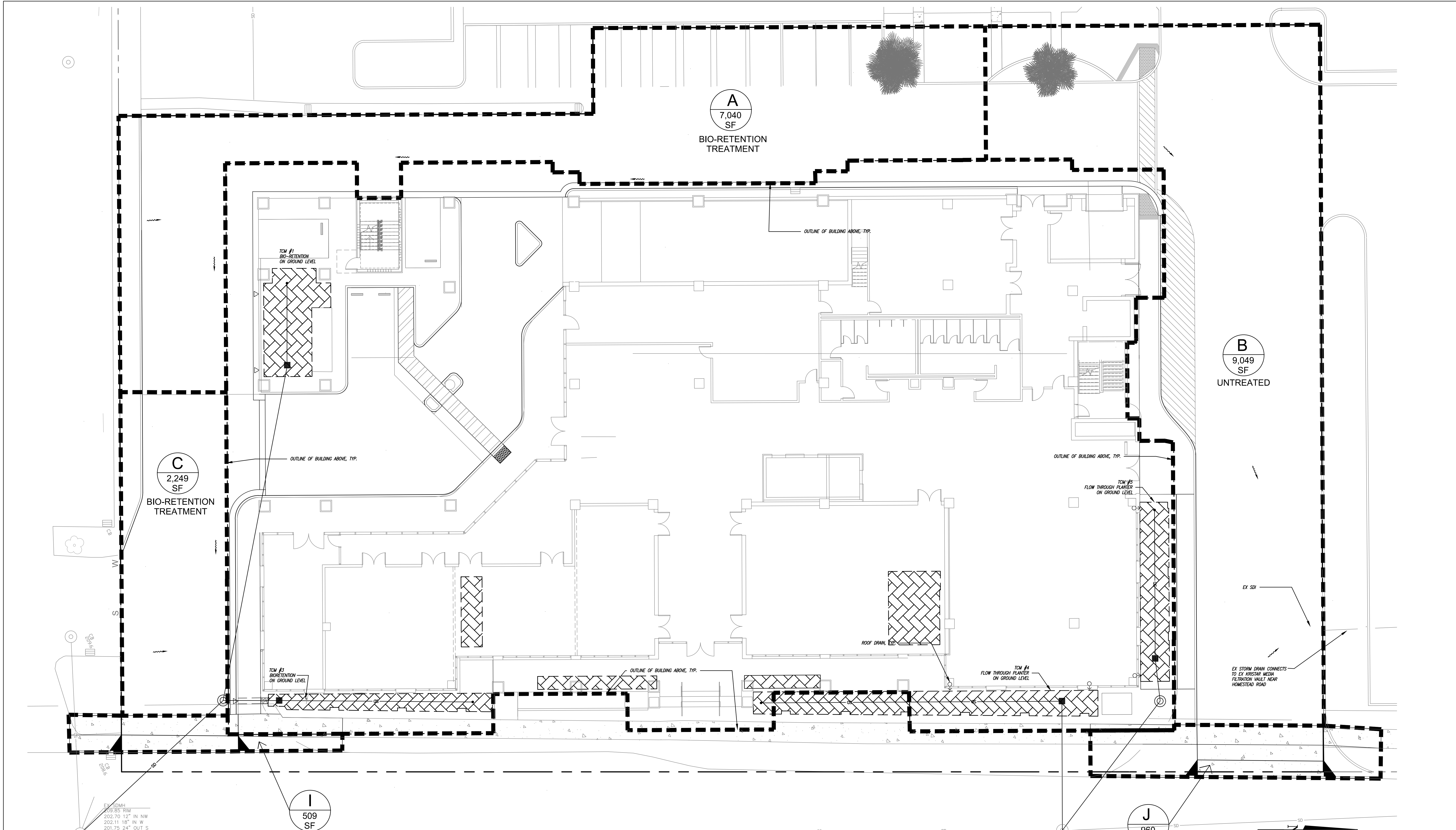
REVISIONS

No.	Date	Description

DATE:	04/19/19
SCALE:	04/19/19
STATUS:	AS-SHOWN
REVISION:	OG
NO.:	5132

C3.1

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A  
7,040  
SF  
BIO-RETENTION  
TREATMENT

B  
9,049  
SF  
UNTREATED

C  
2,249  
SF  
BIO-RETENTION  
TREATMENT

I  
509  
SF

J  
960  
SF

- STORM DRAIN INLET NOTES:**
- ALL PROPOSED STORM DRAIN INLETS ONSITE WILL BE FITTED WITH A FULL TRASH CAPTURE STORM DRAIN INLET DEVICE. THIS DEVICE WILL BE SUBMITTED TO AND APPROVED BY THE ENGINEER. THIS DEVICE WILL BE EXPLICITLY DETAILED IN THE OPERATIONS AND MAINTENANCE PLAN TO BE SERVICED NO LESS THAN TWICE ANNUALLY. (SEE DETAIL 3.2)
  - ALL EXTERIOR STORM DRAIN INLETS ON THE PARCEL WILL BE CLEARLY MARKED WITH "NO DUMPING FLOWS TO CREEK" OR "NO DUMPING FLOWS TO BAY"

DATE: 04/19/19 - 10:17 AM DE ANZA BLVD INTER-COURTNEY (PROJECT) 13.02 C3.1 SWMP - 1ST FLOOR PLAN, LAST EDITED: 04/17/19 9:28AM  
 USER: jgarcia, ADDRESS: C:\Users\jgarcia\AppData\Local\Microsoft\Windows\Temporary Internet Files\Content.IE5\...

**BIOTREATMENT SOIL REQUIREMENTS**

PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

**PROJECT SITE INFORMATION:**

- SOILS TYPE: D
- GROUND WATER DEPTH: >100'
- NAME OF RECEIVING BODY: SUNNYVALE EAST CHANNEL WATERSHED
- FLOOD ZONE: X
- FLOOD ELEVATION (IF APPLICABLE): N/A

**OPERATION AND MAINTENANCE INFORMATION:**

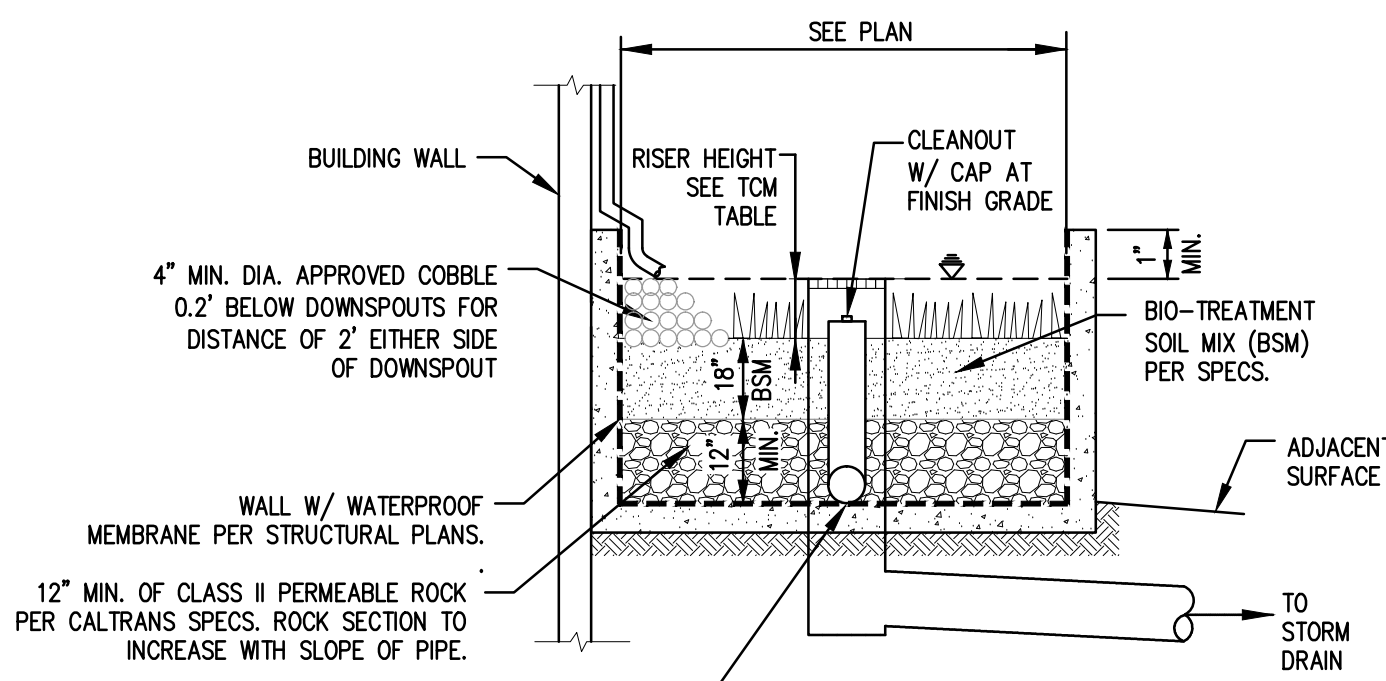
- I. PROPERTY INFORMATION:**
- I.A. PROPERTY ADDRESS:  
10931 N DE ANZA BLVD., CUPERTINO, CA
- I.B. PROPERTY OWNER:  
DE ANZA PROPERTIES
- J. RESPONSIBLE PARTY FOR MAINTENANCE:**
- J.A. CONTACT:  
DE ANZA PROPERTIES
- J.B. PHONE NUMBER OF CONTACT:  
(650) 209-3232
- J.C. EMAIL:
- J.D. ADDRESS:  
960 N SAN ANTONIO ROAD, SUITE 114,  
LOS ALTOS, CA

**SOURCE CONTROL MEASURES:**

- USE WATER EFFICIENT IRRIGATION SYSTEMS
  - GOOD HOUSEKEEPING, E.G., SWEEP PAVEMENT AND CLEAN CATCH BASIN.
  - BENEFICIAL LANDSCAPING.
  - USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
  - MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
  - STORM DRAIN LABELING.
- OTHER: \_\_\_\_\_

**SITE DESIGN MEASURES:**

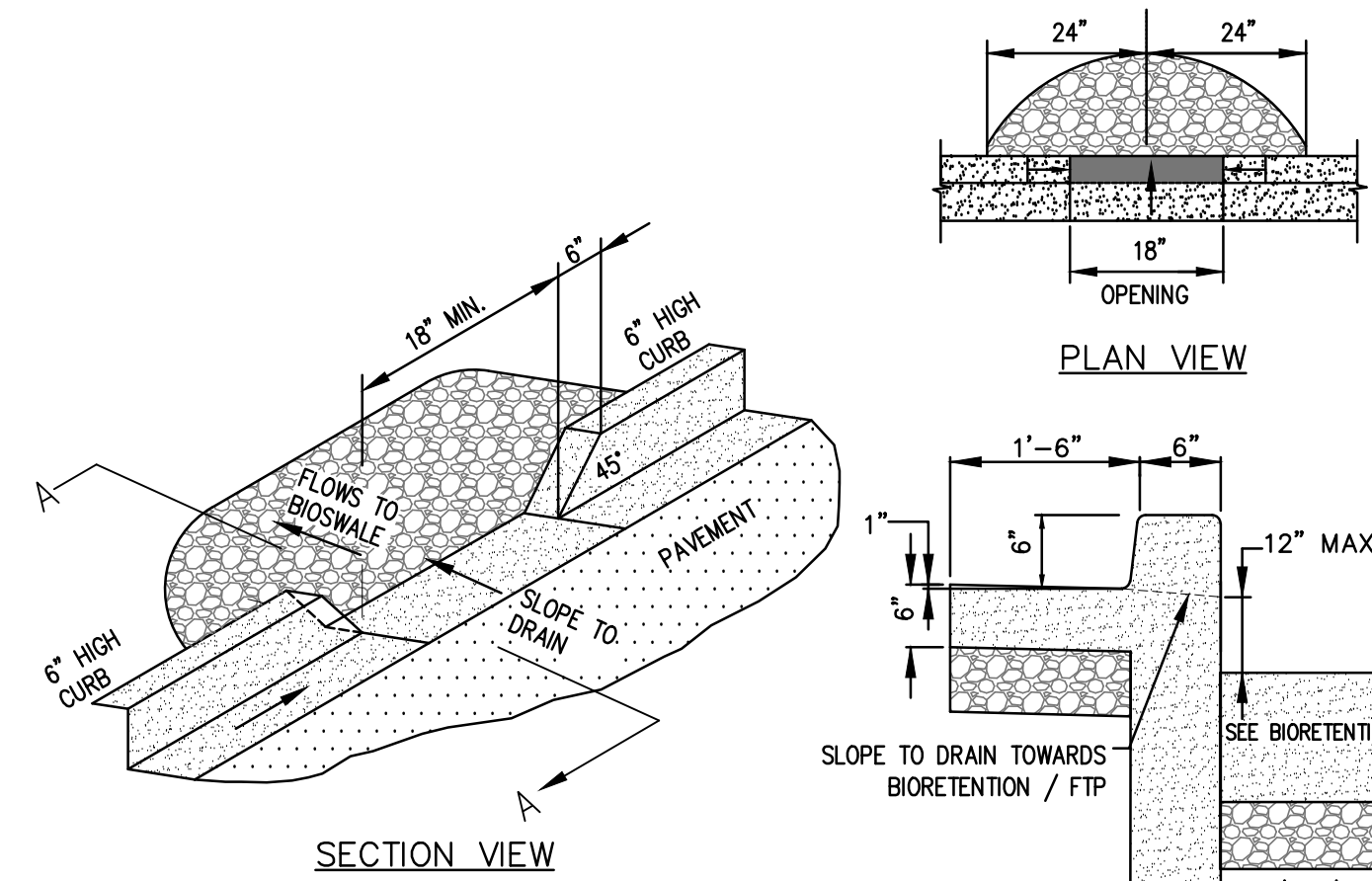
- PROTECT EXISTING TREES, VEGETATION, AND SOIL.
- OTHER: \_\_\_\_\_



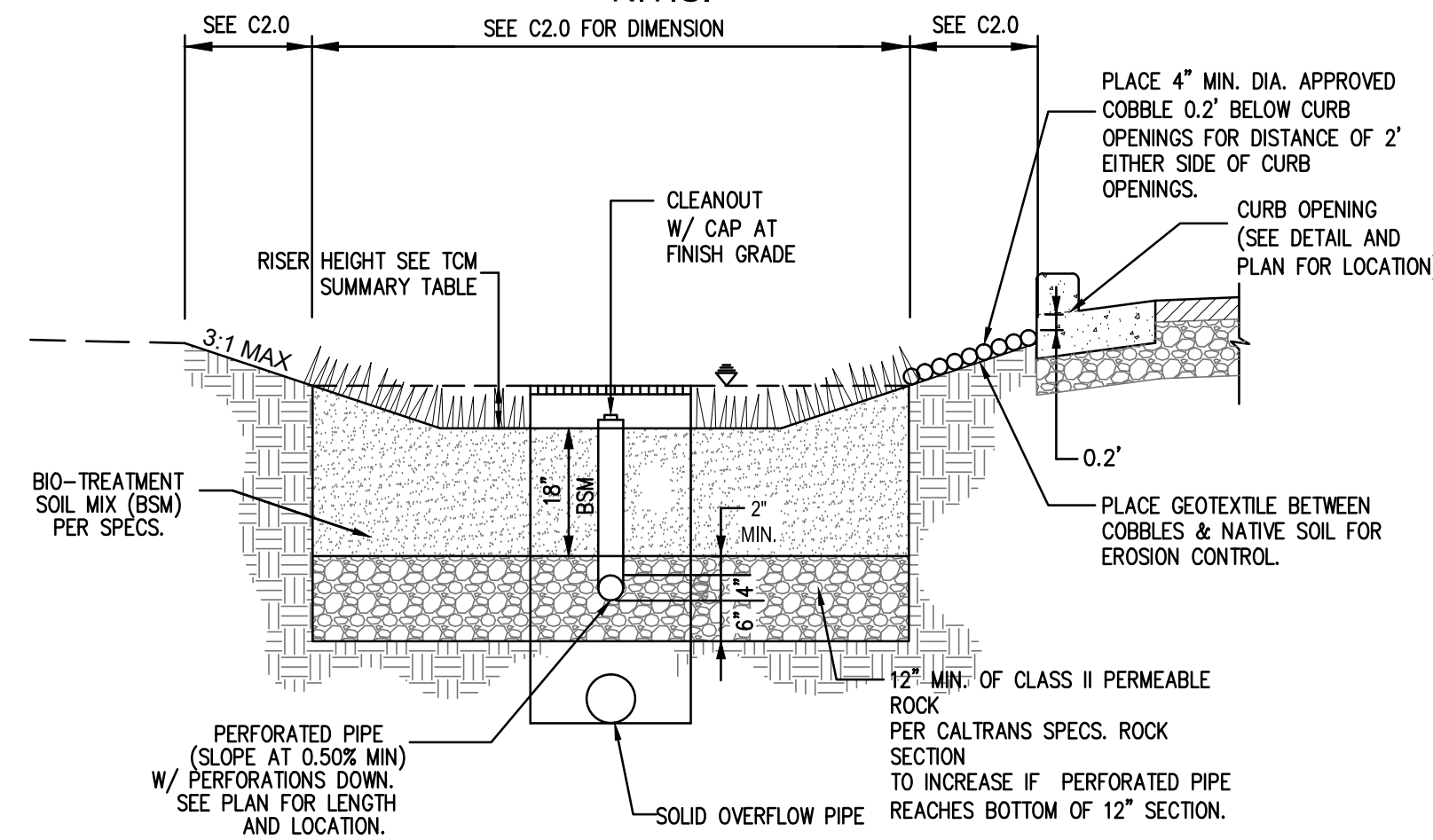
TYPICAL FLOW-THROUGH PLANTER ( ABOVE GRADE)

SIZING METHOD:  
4% METHOD

N.T.S.



CURB OPENING  
N.T.S.



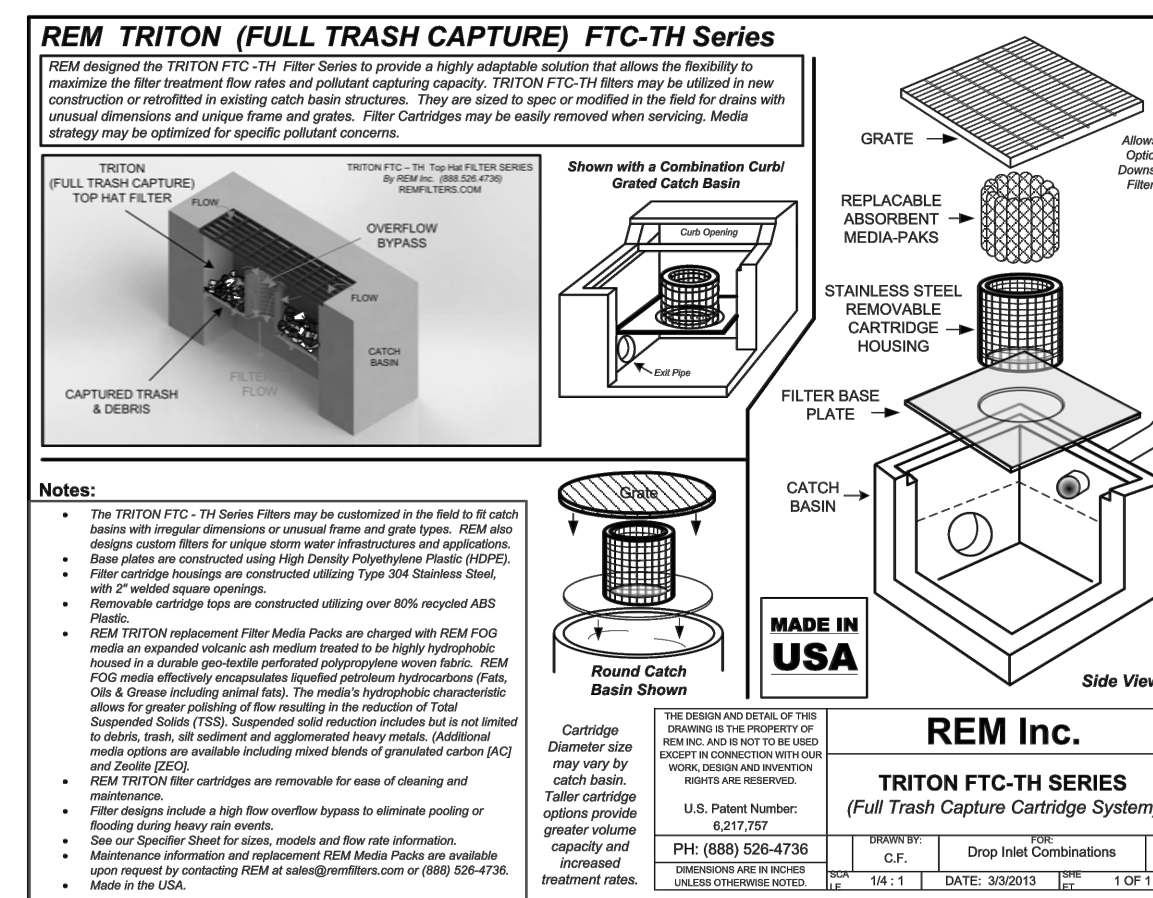
TYPICAL BIORETENTION BASIN W/ LINER

SIZING METHOD:  
4% METHOD

N.T.S.

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS, AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON



RIM TRITON (FULL TRASH CAPTURE) FTC-TH SERIES DETAIL

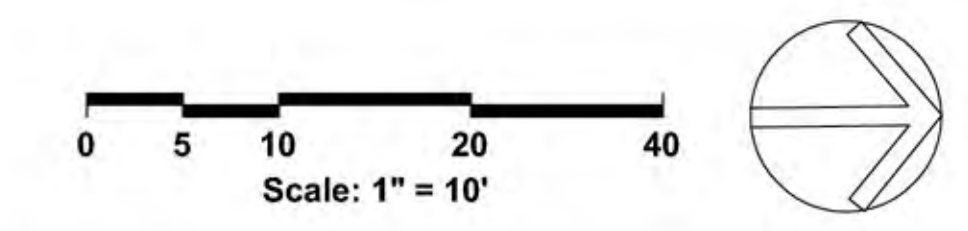
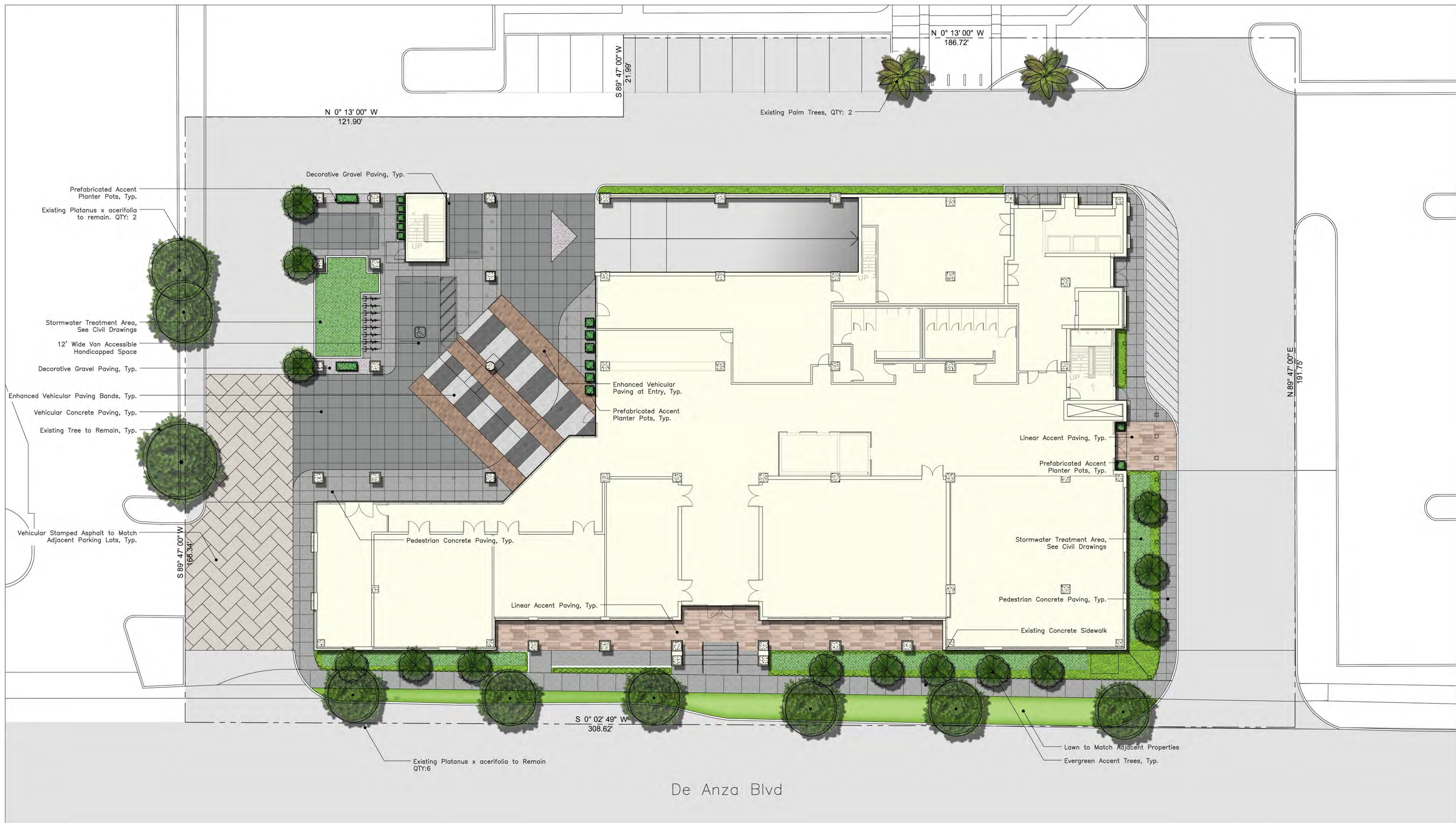
SCALE: N.T.S.

**REVISIONS**

No.	Date	Description

Date:	04/19/19
Drawn by:	04/19/19
Scale:	AS-SHOWN
Sheet:	OG
Plot:	5132





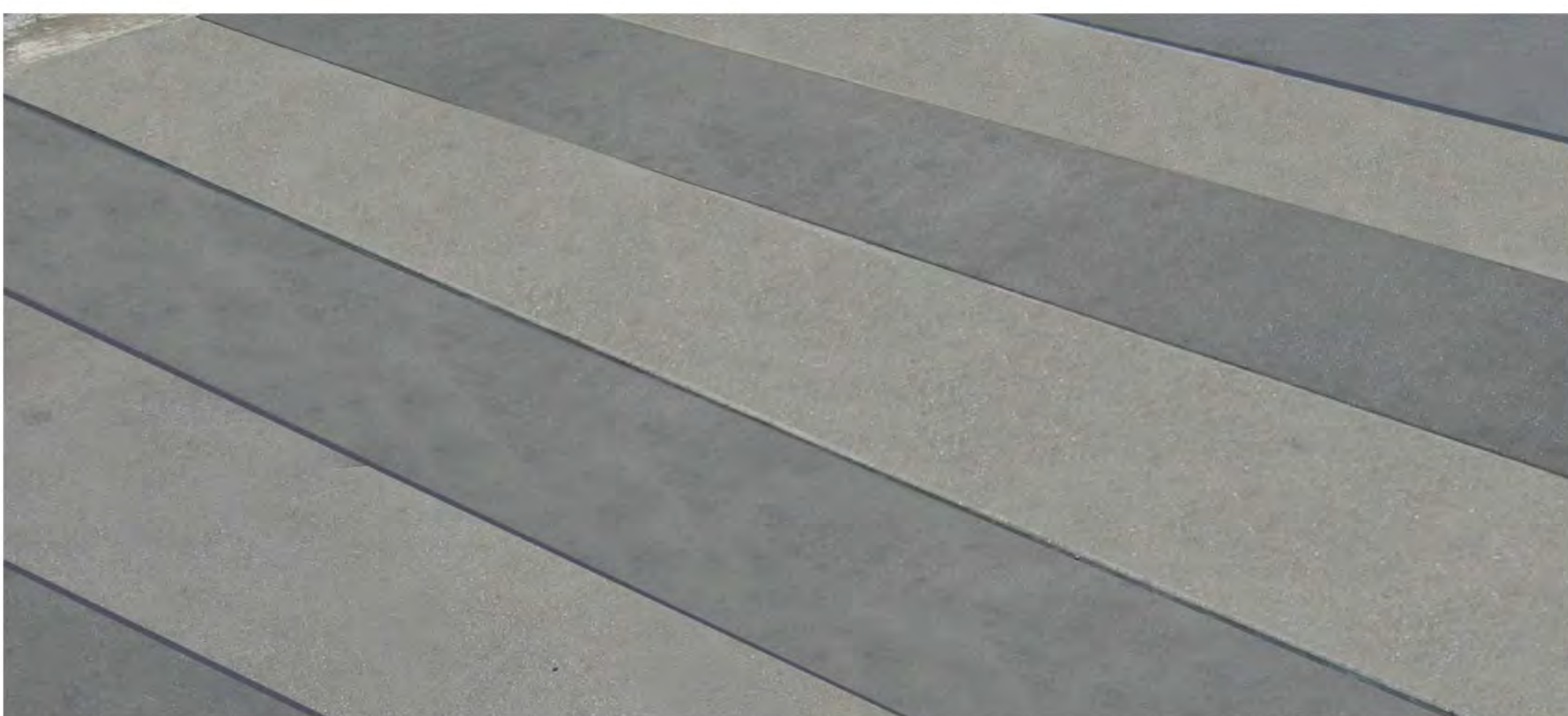
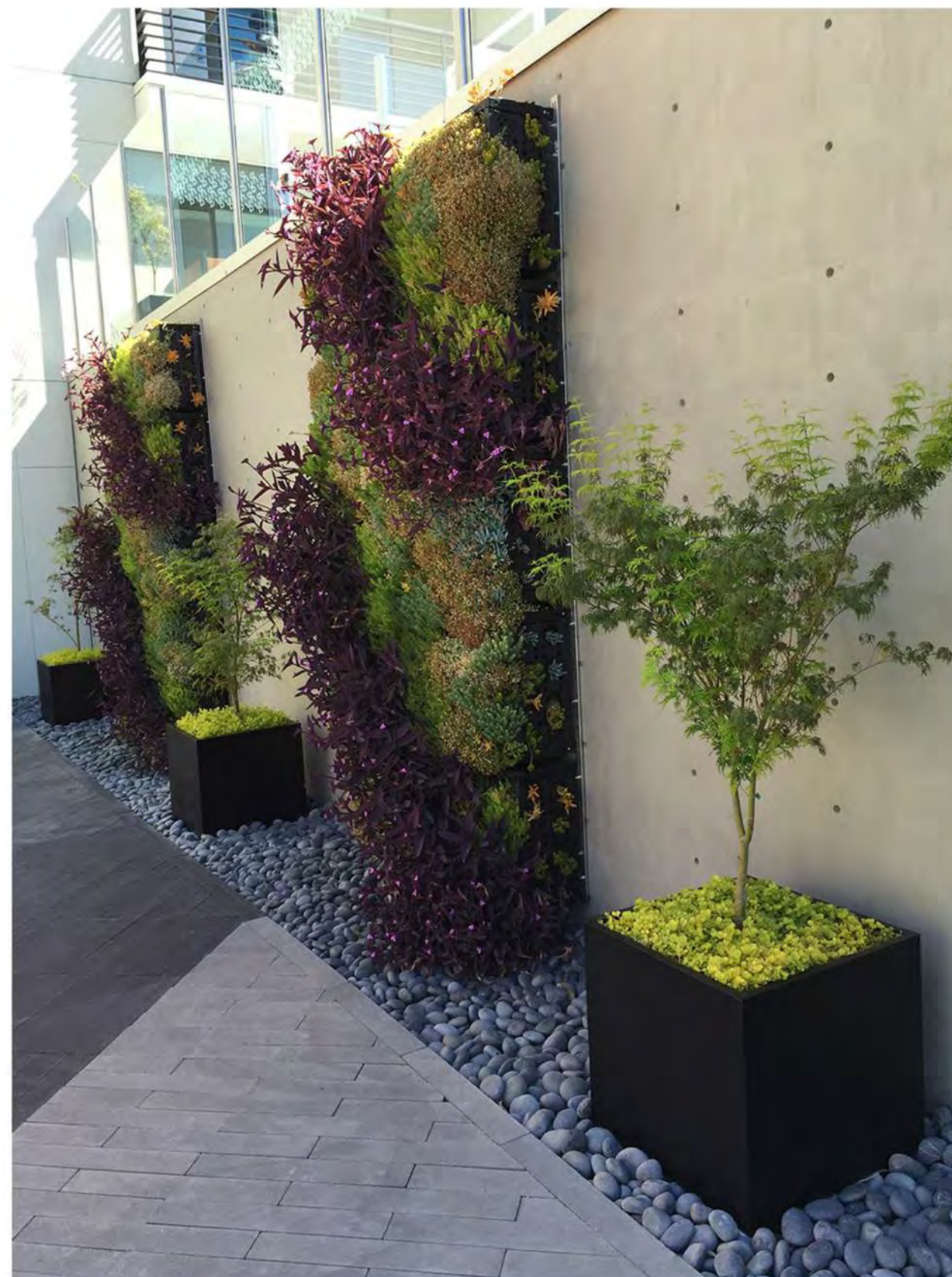
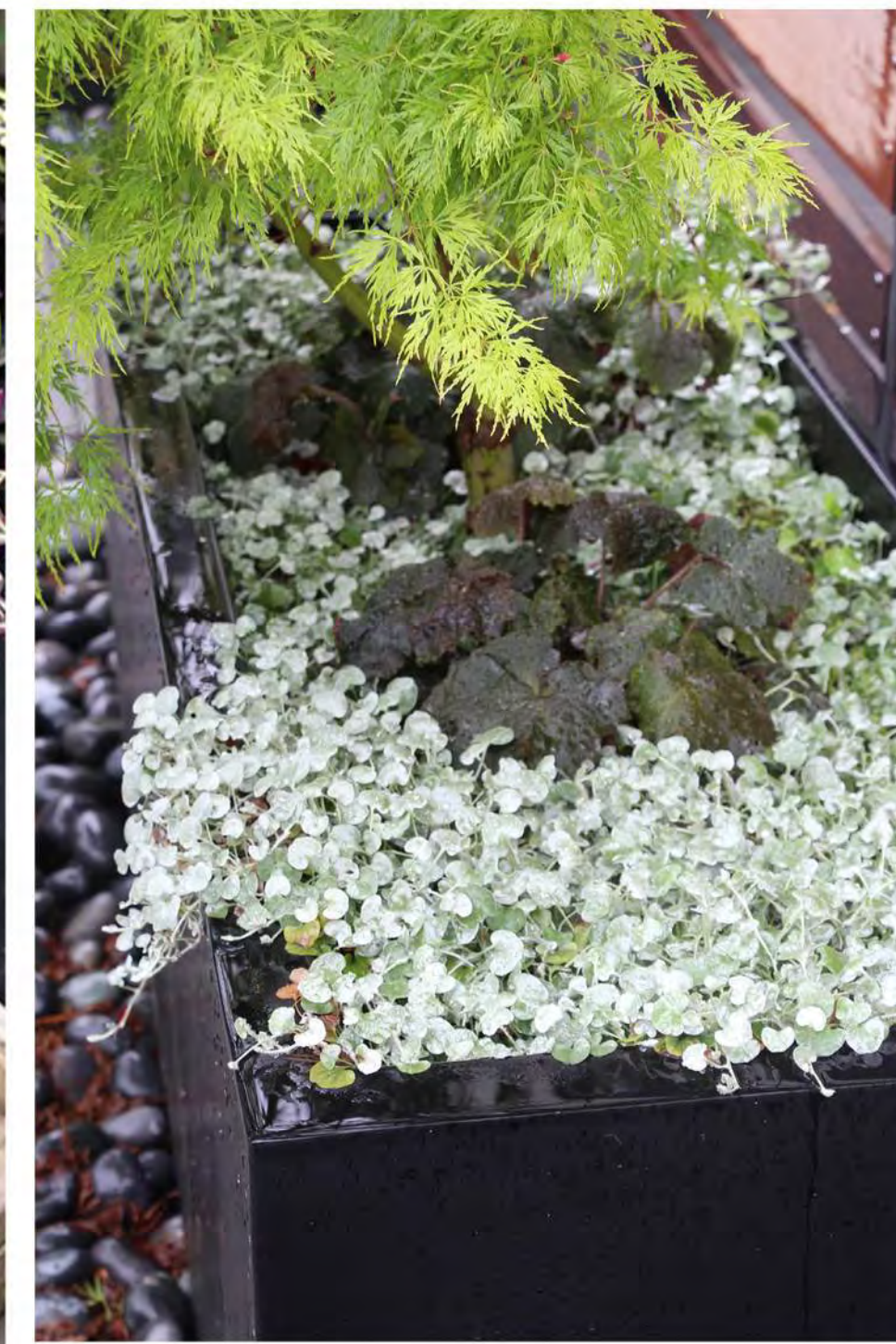
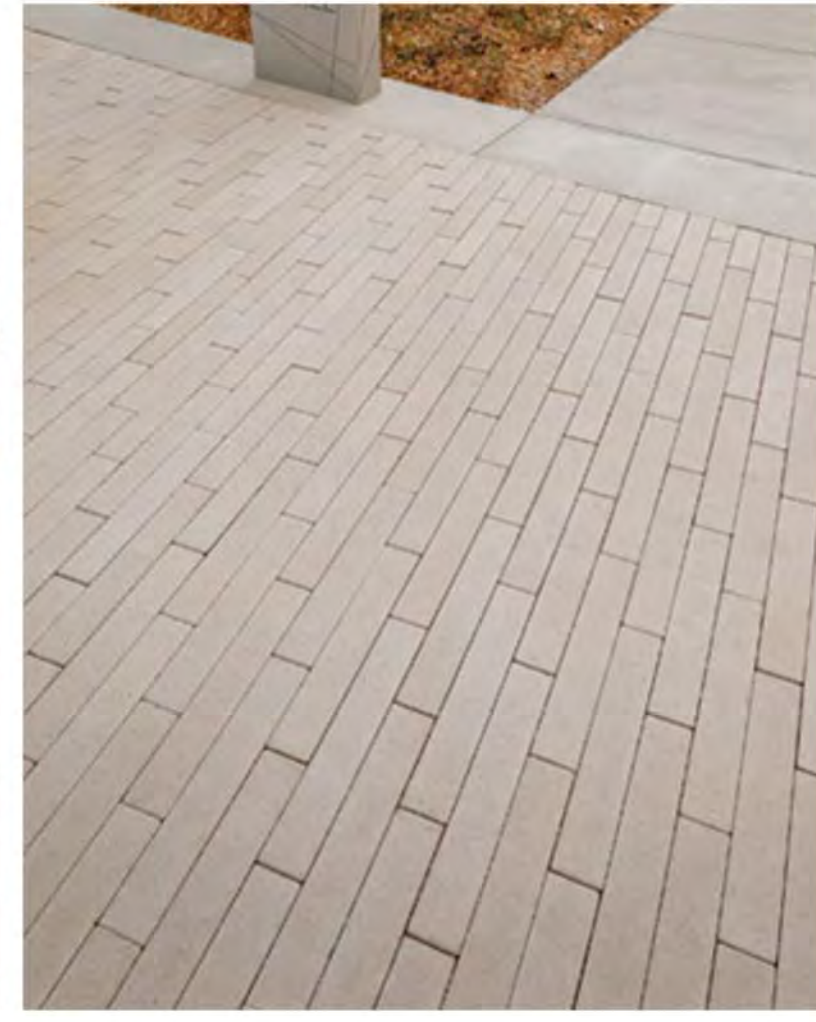
# De Anza Hotel

Cupertino, CA

STREETSCAPE CONCEPTUAL PLAN  
 04.19.2019  
 L1

**THE GUZZARDO PARTNERSHIP INC.**  
 Landscape Architects · Land Planners  
 181 Greenwich Street  
 San Francisco, CA 94111  
 T 415 433 4672  
 F 415 433 5003





# De Anza Hotel

Cupertino, CA

LANDSCAPE IMAGERY  
04.19.2019  
L3

**THE GUZZARDO PARTNERSHIP INC.**  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672

**TREE DISPOSITION LEGEND**

Existing Trees to Remain. To be Coordinated with Civil Engineer and Proposed Grading Plan.  
 NOTE: All Existing On-Site Trees are to Remain.

**Tree Disposition Table**

Total Existing On-Site Trees	11
to Remain	11
to be Removed	0
to be Transplanted	0
<b>Replacement Trees Proposed</b>	
(24" Box Size or Greater)	14

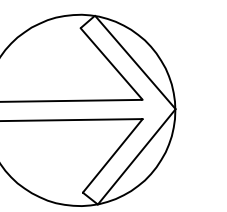
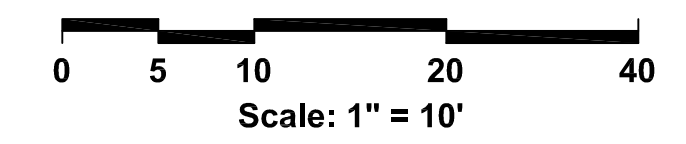
Existing Platanus x acerifolia to remain. QTY: 2

Existing Eucalyptus to Remain

Existing Palm Trees to Remain. QTY: 2

Existing Platanus x acerifolia to Remain QTY:6

De Anza Blvd



**De Anza Hotel**  
 Cupertino, CA

**TREE DISPOSITION PLAN**  
 04.19.2019  
**L4**

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 T 415 433 4672  
 F 415 433 5003