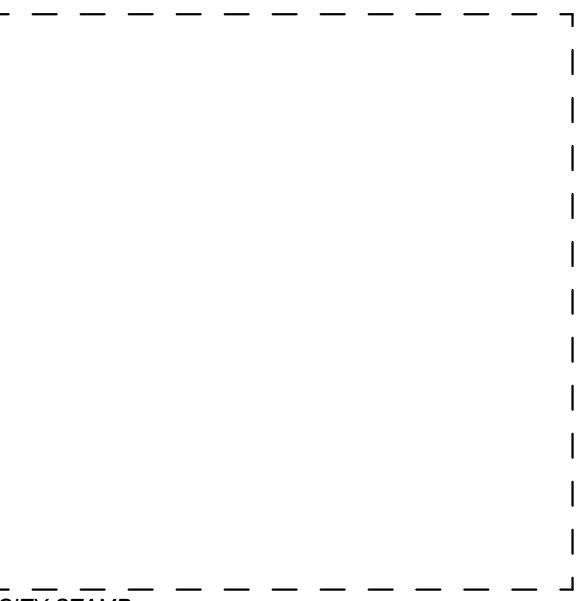




ARCHITECTURE INC
 1645 NW HOYT
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 503 444 2200



CITY STAMP

WESTPORT CUPERTINO

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NOT FOR
CONSTRUCTION**

KT URBAN

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 14148
 DRAWN: Author
 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

REVISION:	DESCRIPTION:	
1	07.13.18	PLANNING COMMENT RESPONSES
2	11.30.18	PLANNING COMMENT RESPONSES

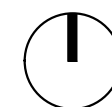
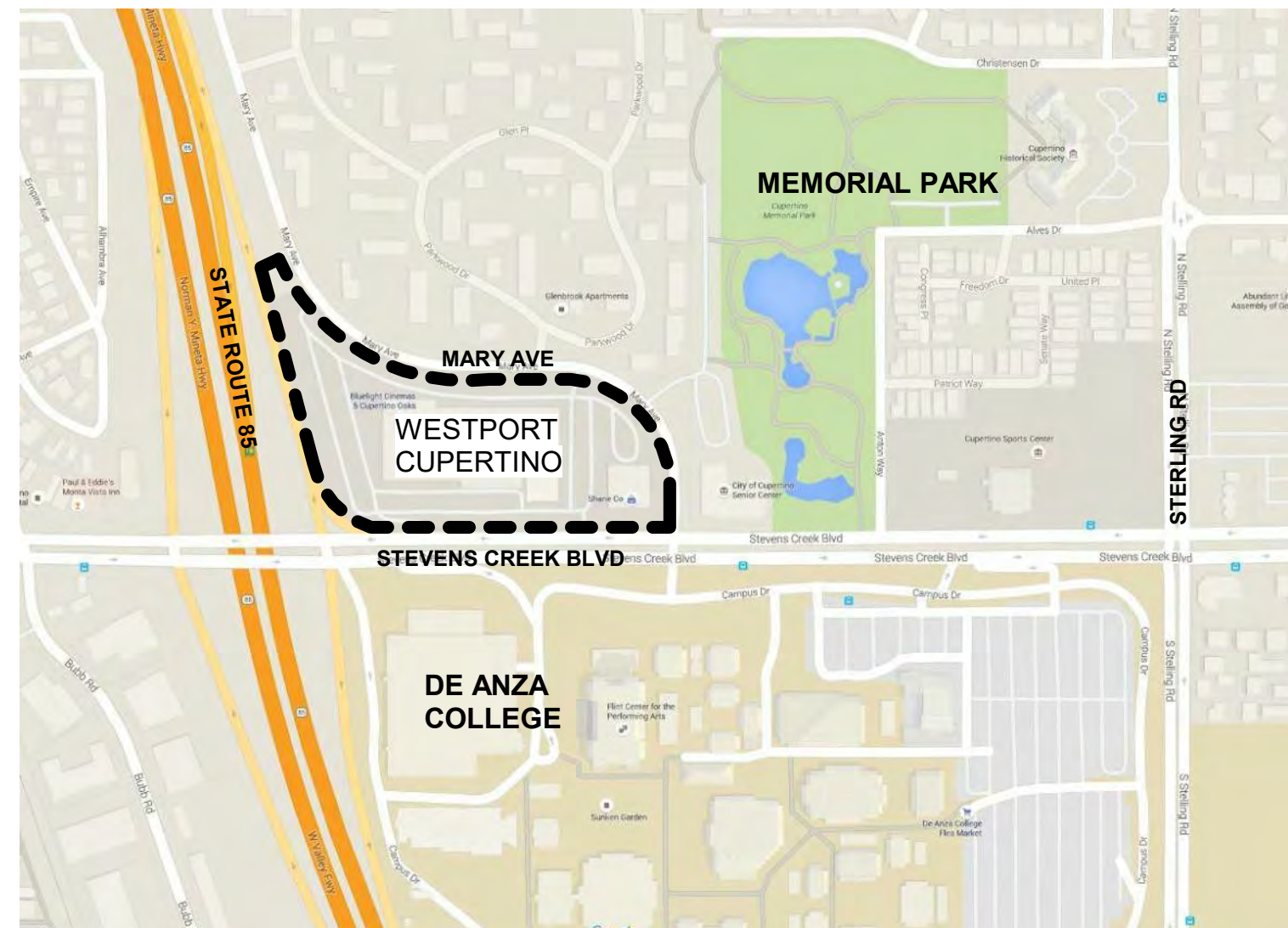
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SITE PLAN APPLICATION

SHEET TITLE:
COVER SHEET

SHEET NO.:
G200

VICINITY MAP



PROJECT TEAM

CLIENT

KT URBAN
 21710 STEVENS CREEK BLVD #200
 CUPERTINO, CA 95104
 P: 408.257.2100
 CONTACT: MARK TERSINI

ARCHITECT

C2K ARCHITECTURE INC.
 1645 NW HOYT ST
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 P: 503.244.2100
 CONTACT: KEVIN SAUSER
 ksauser@c2karch.com
 CONTACT/APPLICANT: NATHAN MILLER
 nmiller@c2karch.com

CIVIL

KIMLEY-HORN
 4637 CHABOT DRIVE SUITE 300
 PLEASANTON, CA 94588
 P: 925.965.7701
 CONTACT: MARK FALGOUT
 Mark.Falgout@kimley-horn.com

LANDSCAPE

PLACE
 735 NW 18TH AVE
 PORTLAND, OR 97209
 P: 503.334.1630
 CONTACT: MIGUEL CAMACHO SERNA
 miguel.camacho.serna@place.la

DRAWING INDEX

DRAWING INDEX	
GENERAL	
G200	COVER SHEET
G201	ILLUSTRATIVE SITE PLAN
G202	PROJECT SUMMARY
G203	SITE SETBACKS
G204	SLOPE SETBACKS
G206A	SITE AREA
G206B	COMMON OPEN SPACE / PRIVATE SPACE
G206C	COMMON LANDSCAPED/ HARDSCAPED SPACE
G207	NEIGHBORHOOD SITE PLAN & BUILDING HEIGHTS
G219	PROPOSED MATERIALS
G300	TRUCK & GARBAGE ROUTES
G301	TRUCK & GARBAGE ROUTES
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L200	PLANTING PLAN
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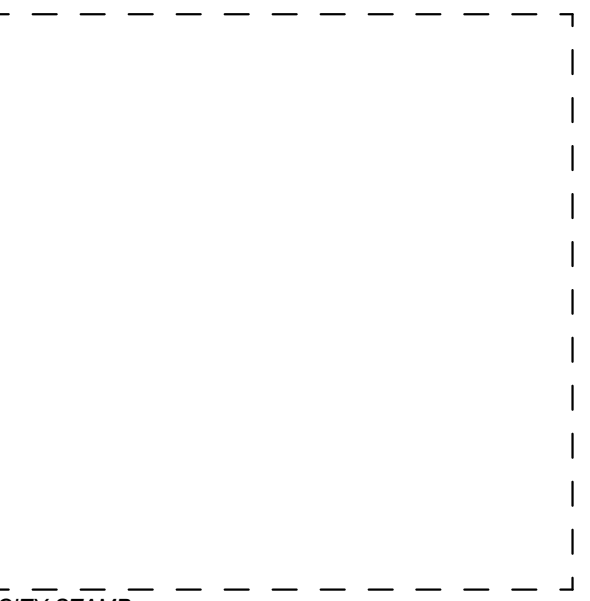
DRAWING INDEX	
ARCHITECTURAL	
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A200	LEVEL B1 PLAN
A201	LEVEL 1 PLAN
A202	LEVEL 2-5 PLAN
A206	LEVEL 6 PLAN
A210	ELEVATIONS - SITE
A211	SECTIONS - SITE
A212	TYPOLOGICAL PRECEDENTS
A213	ELEVATIONS - BLDG 1
A214	ELEVATIONS - BLDG 1
A216	ELEVATIONS - BLDG 2
A217	SECTIONS - BLDG 1 AND 2
A220	ELEVATION AND SECTION TOWNHOUSE (6)
A221	ELEVATION AND SECTION TOWNHOUSE (4)
A222	ELEVATION AND SECTION ROWHOUSE
A223	FLOOR PLANS - TOWNHOUSES AND ROWHOUSES
A240	PHASING PLAN

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KT URBAN

21267 STEVENS CREEK
 BLVD, CUPERTINO, CA

PROJECT NO.: 14148
 DRAWN: Author
 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

REVISION	DESCRIPTION
2	11.30.18 PLANNING COMMENT RESPONSES

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SITE PLAN APPLICATION

SHEET TITLE:
 ILLUSTRATIVE SITE PLAN

SHEET NO.:
G201



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BUILDING CODE DATA (CONT.):

4. OCCUPANT LOAD: BUILDING 1: RETAIL: 294 OCCUPANTS 17,600 GSF / 60 GSF PER OCC. BUILDING 2: RETAIL: 40 OCCUPANTS 2,400 GSF / 60 GSF PER OCC.

BUILDING CODE DATA:

- 1. LOCAL CODES: - 2016 California Building Standards Codes & Cupertino Municipal Code Chapter 16.04 - 2016 California Building Code, w/ local amendments

- 2. BUILDING USE AND OCCUPANCY: Occupancy Groups (Separated & Non-Separated) - Residential-Retail Buildings: Residential Units: Group R-2, Separated

3. BUILDING HEIGHTS AND AREAS: Story, Height, and Area Limitations:

- Residential-Retail Building 1 - Construction Type IB SM Allowable Stories: 12 Stories allowed per Table 504.4

- Below-Grade Parking Garage - Construction Type IA: Allowable Stories: Unlimited Stories allowed per Table 504.4

- Residential-Townhouses - Construction Type VA - Sprinklered S13R: Allowable Stories: 4 Stories

ZONING CODE DATA (CONT.):

- Parking for Each Building Use, per Parking Table 19.124.040(A) for Retail and Table 19.56.040B for Residential:

Residential-Retail Building 1: Retail (17,600 SF) (Uni-size): 71 Spaces Req'd / 72 Provided (at grade)

Residential-Retail Building 2 (Senior / Low Income Housing): Retail (2,400 SF) (Uni-size): 10 Spaces Req'd / 10 Provided (at grade)

Residential-Townhouses / Rowhouses Residential (88 units): Covered (10'x20'): 176 Spaces Req'd / 176 Provided (in unit)

Future Electrical Vehicle Supply Equipment (EVSE) and Clean Air Vehicles - Per CALGreen 4.106.4.1.: Each Townhouse / Rowhouse will have a raceway and service panel to support a 40 amp circuit for a vehicle charging station.

- Per CALGreen 4.106.4.2: Three percent of parking spaces in multi-family dwellings units shall be EVSE.

- Per CALGreen 5.106.5.3.3: Table 5.106.5.3.3 (82) retail parking spaces require 5 EVSE Spaces / 5 Provided

- Per CAL Green 5.106.5.2, Table 5.106.5.2 (82) retail parking spaces require 8 Clean Air Vehicle stalls / 8 Provided (per CAL Green 5.106.5.3.5, future charging stations qualify as Clean Air Vehicle stalls)

Accessible Parking Stalls - Per 11B-Table 11B208.2 Accessible Retail Parking Stalls are: - Building 1/ Retail: 72 Spaces = 3 Accessible Spaces Req'd / 3 Provided (1 is Van space)

- Per 1109A.3 - Assigned Accessible Residential Parking Stalls: - Building 1/ Residential: 2% of 193 spaces = 3.9 Spaces Req'd / 4 Spaces provided.

- Per 1109A.5 Unassigned Visitor Spaces: - Townhouses/ Rowhouses: 5% of 34 open spaces = 1.7 Spaces Req'd / 2 Spaces Provided. 1 Space shall be Van Accessible.

6. BICYCLE PARKING:

- Required Bicycle Parking for Each Building Use, per Green Building Standards Non-Residential Mandatory Measure 5.106.4.1.1:

Building 1: Short Term Retail (Class II) 5% of 72 Vehicle Spaces 3.6 spaces

Building 2: Short Term Retail (Class II) 5% of 10 Vehicle Spaces 0.5 Req'd

Short Term Bicycle Parking defaults to stricter local zoning code. Long Term spaces to be provided per Cal Green.

- Required Bicycle Parking for Each Building Use, per Parking Table 19.124.040(A): Building 1: Residential (Class I) (1 space / 2 units) 57.7 Req'd / 58 Provided

Building 2: Residential (Class I) (1 space / 2 units) 19.5 Req'd / 20 Provided

- See architectural sheet A201 for bicycle parking locations.

ZONING CODE DATA:

1. GENERAL PLAN/ZONING:

- General Plan Guidelines Community Vision 2040, and the Heart of the City Specific Plan Title 19

2. HEIGHT:

- Zoning Max Allowable Height: 45'-0" Max

- See Bonus Height request below. See Building Code Data Section and sheet G204 for Heights of Roofs, Setback Slopes and Non-Occupied Towers above the eave line.

3. MINIMUM YARDS BUILDING SETBACKS:

- Stevens Creek Blvd (South side): 35'-0" from edge of curb

4. OPEN SPACE:

- See Open Space Area Calcs Site Plan sheet G206A, 206B, 206C

5. AUTO PARKING:

Parking for Residential portion of project is based on zoning section 19.56.040 Incentives or Concessions, waivers and Reduction of Parking Standards and Table 19.56.040B Off-street parking standards for projects eligible for a density bonus.

PROJECT MIX:

SINGLE FAMILY - ROWHOUSES AND TOWNHOUSES: ROWHOUSES: 13 TOTAL: 19

RESIDENTIAL (MULTI-FAMILY) / RETAIL: BUILDING 1: UNIT MIX STUDIO 1BR 2BR 3BR TOTAL RETAIL

RESIDENTIAL (BMR SENIOR HOUSING) / RETAIL: BUILDING 2: UNIT MIX STUDIO 1BR 2BR 3BR TOTAL RETAIL

UPDATED RESIDENTIAL PARKING REQUIREMENTS PER T 19.56.040B AND PROJECT MIX:

RESIDENTIAL PARKING REQ'T - PER T.19.56.040B

TOWNHOMES / ROWHOMES: TYPE STUDIO 1BR 2BR-3BR 4BR TOTAL

RESIDENTIAL (MULTI-FAMILY) / RETAIL: BUILDING 1: TYPE STUDIO 1BR 2BR-3BR 4BR TOTAL

RESIDENTIAL (BMR SENIOR HOUSING) / RETAIL: BUILDING 2: TYPE STUDIO 1BR 2BR-3BR 4BR TOTAL

PROJECT SUMMARY:

1. STREET ADDRESS AND APN FOR SITE:

- Street Address: 21267 Stevens Creek Boulevard, Cupertino, CA 95014

2. PROJECT PROGRAM SUMMARY:

- Redevelopment of 71,254 SF Shopping Center (53,701 SF Retail, 17,503 SF Office) on 8.1 acre site, to provide mixed-use urban village with 242 residential units and 20,000 SF of retail space with the following structures:

- Residential-Retail Building 1: 6-stories; 193,500 SF residential; 115 units; w/ 17,600 SF of ground-level retail.

- Below-Grade Parking Garage: 1-level below grade; 97,750 SF; 232 parking spaces.

- Residential Townhouses: 69 units, 3 stories, 139,850 SF Total Residential plus 39,450 SF of garage. (Unit size range: 1760 SF plus 597 SF garage to 2468 SF plus 530 SF garage)

- Residential Rowhouses: 19 units, 3 stories, 34,245 SF Total Residential plus 10,840 SF of garage. (Unit size range: 1698 SF plus 529 SF garage to 2028 SF plus 660 SF garage)

3. PROVISIONS TO VARY FROM HEART OF THE CITY PLAN PURSUANT TO STATE DENSITY BONUS LAW. (SEE APPLICATION)

The project is eligible for Density Bonus per Chapter 19.56. of the Cupertino Municipal Code (CMC). This Application is requesting three waivers of development standards that would have the effect of physically precluding the development of the Project at the density proposed by the Applicant. Those waivers include:

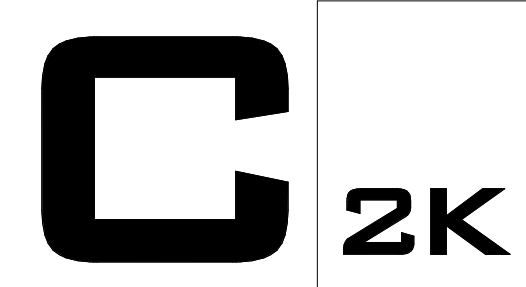
- 1. Height waivers for Building 1 (residential/commercial) and Building 2 (senior housing) from 45 ft. height limit to allow heights currently illustrated on Sheets G204 and A211 thru A217,

Off-Street Parking for the project will be in accordance with Table 19.56.040B, as provided for in CMC Section 19.56.040.C.

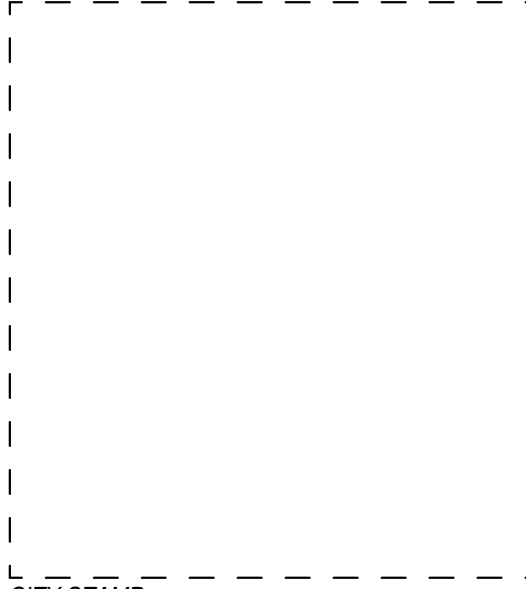
4. PLANNING PERMIT APPLICATION PLAN CONTENT REQUIREMENTS:

- General Plan Land Use Designation: See Sheet G.202

- Preliminary Floor Plans: See Sheets A.200 thru A.206



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WESTPORT CUPERTINO

PRELIMINARY, NOT FOR CONSTRUCTION

KT URBAN 21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148 DRAWN: Author DATE: 2018 MAY 11 SITE PLAN APPLICATION

REVISION: DESCRIPTION: 1 07.13.18 PLANNING COMMENT RESPONSES

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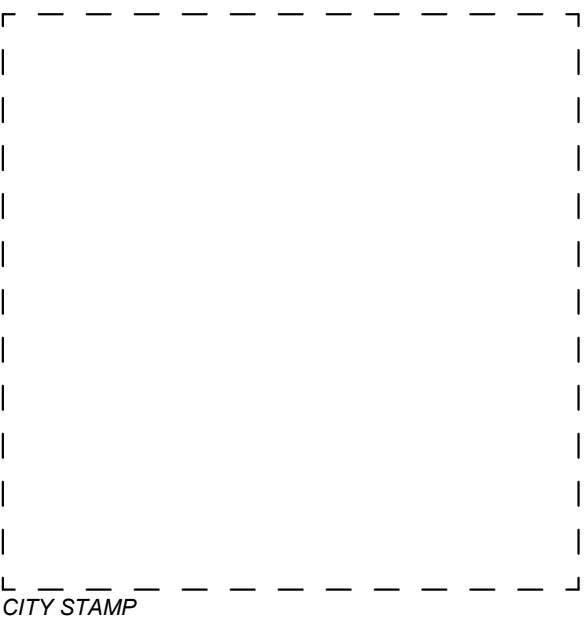
SITE PLAN APPLICATION

SHEET TITLE: PROJECT SUMMARY

SHEET NO.: G202

GENERAL NOTES - SITE PLAN

1. SEE PROJECT SUMMARY SHEET G202 FOR ZONING AND LAND USE DESIGNATIONS, AND GROSS SITE AREA AND NET SITE AREA.
2. SEE SITE PLAN SETBACKS SHEET G203 FOR SETBACK DIMENSIONS.
3. SEE OPEN SPACE CALCS SHEET G206A, G206B, G206C FOR OPEN SPACE CALCS.
4. SEE SHEET G202, A200 AND A201 FOR PROJECT PARKING SPACE SUMMARY.
5. SEE LANDSCAPE SHEETS FOR LANDSCAPE AREA INFO.
6. SEE CIVIL DRAWINGS FOR VEHICLE ACCESS TURNING RADIUS AND STREET DESIGN



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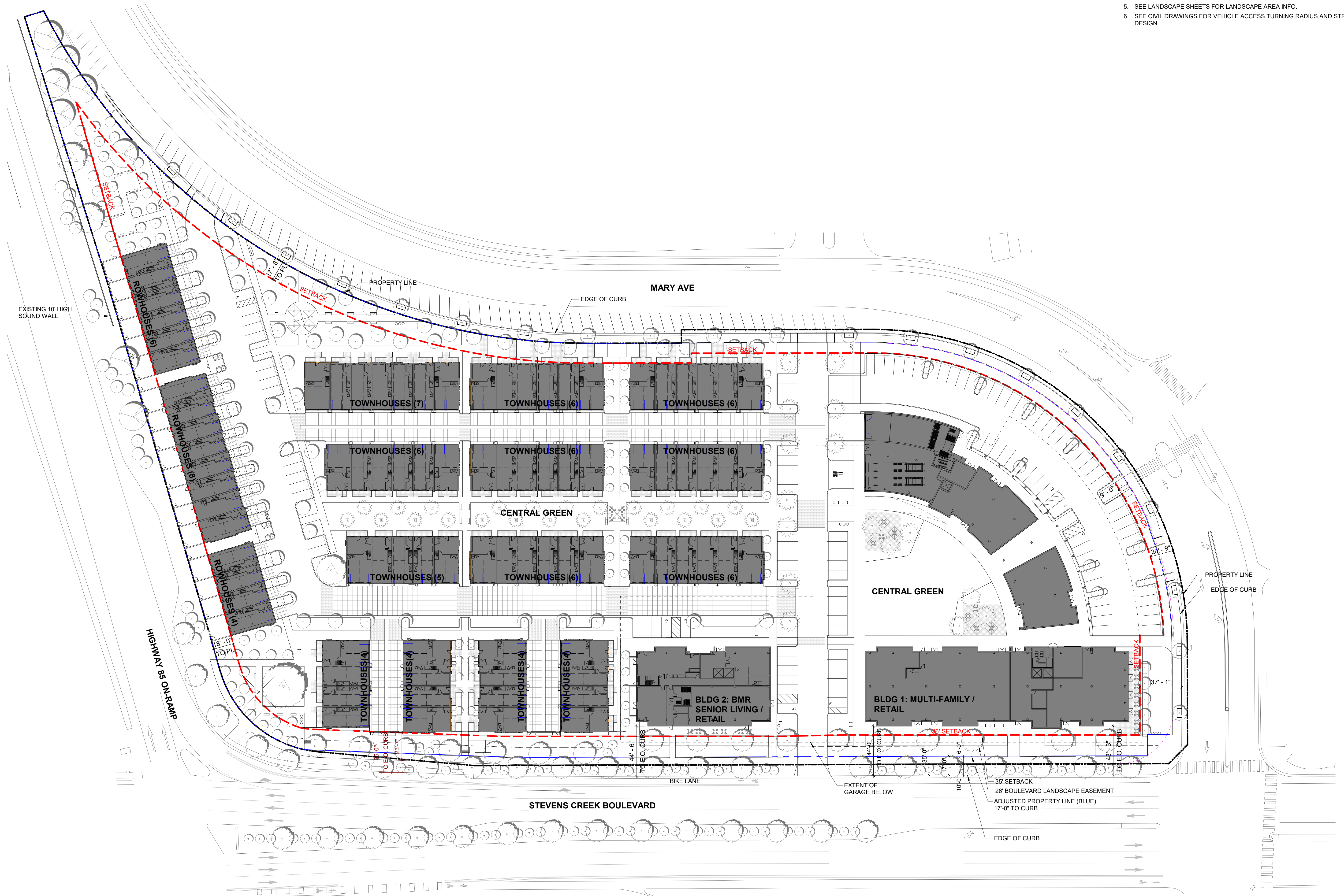
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SITE PLAN APPLICATION

SHEET TITLE:
SITE SETBACKS

SHEET NO.:
G203



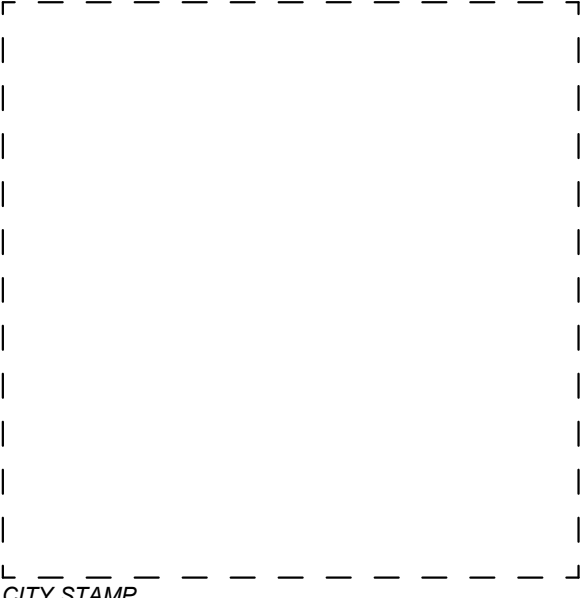
1 G203 ARCHITECTURAL SITE PLAN - CODE
1" = 40'-0"

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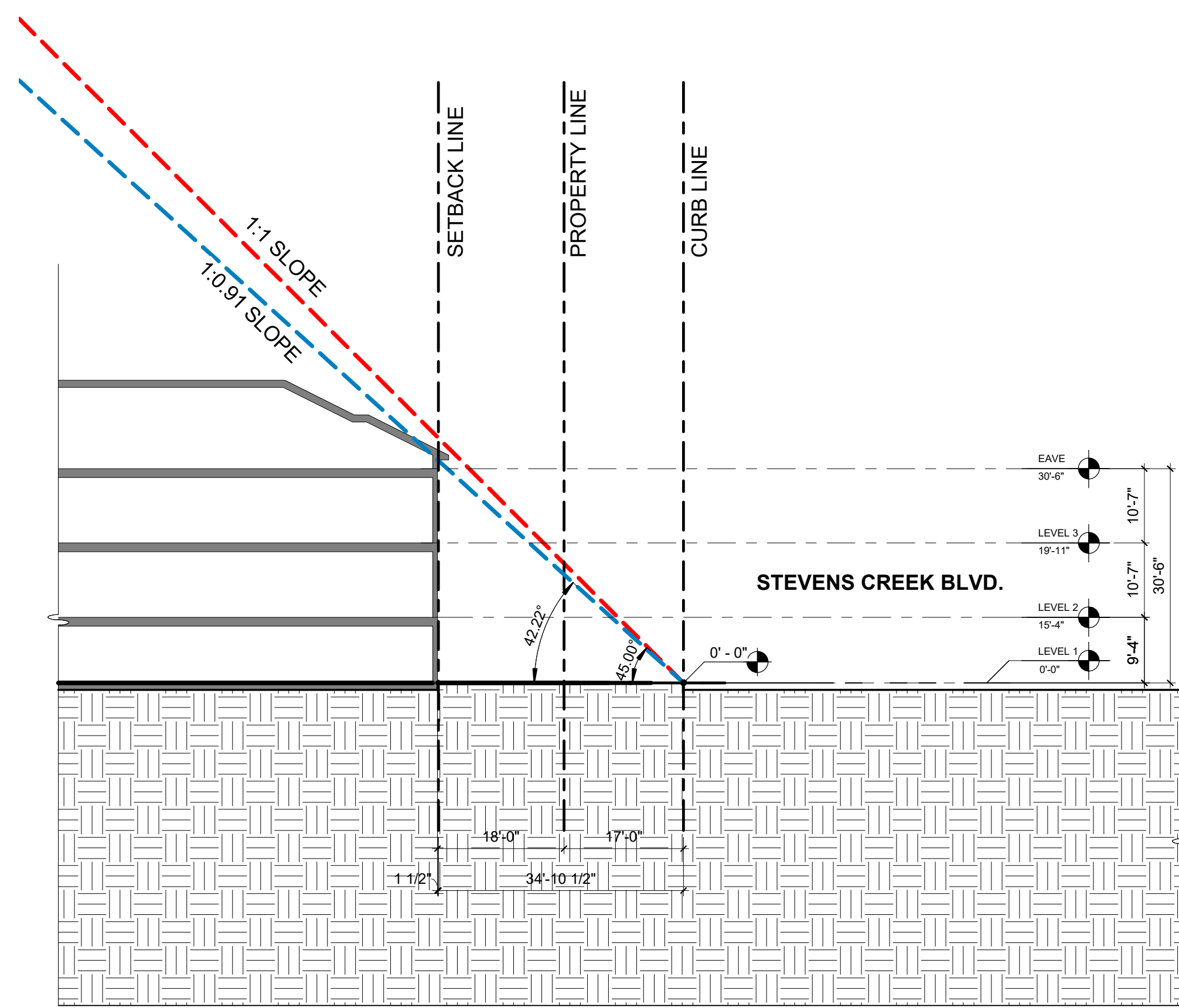
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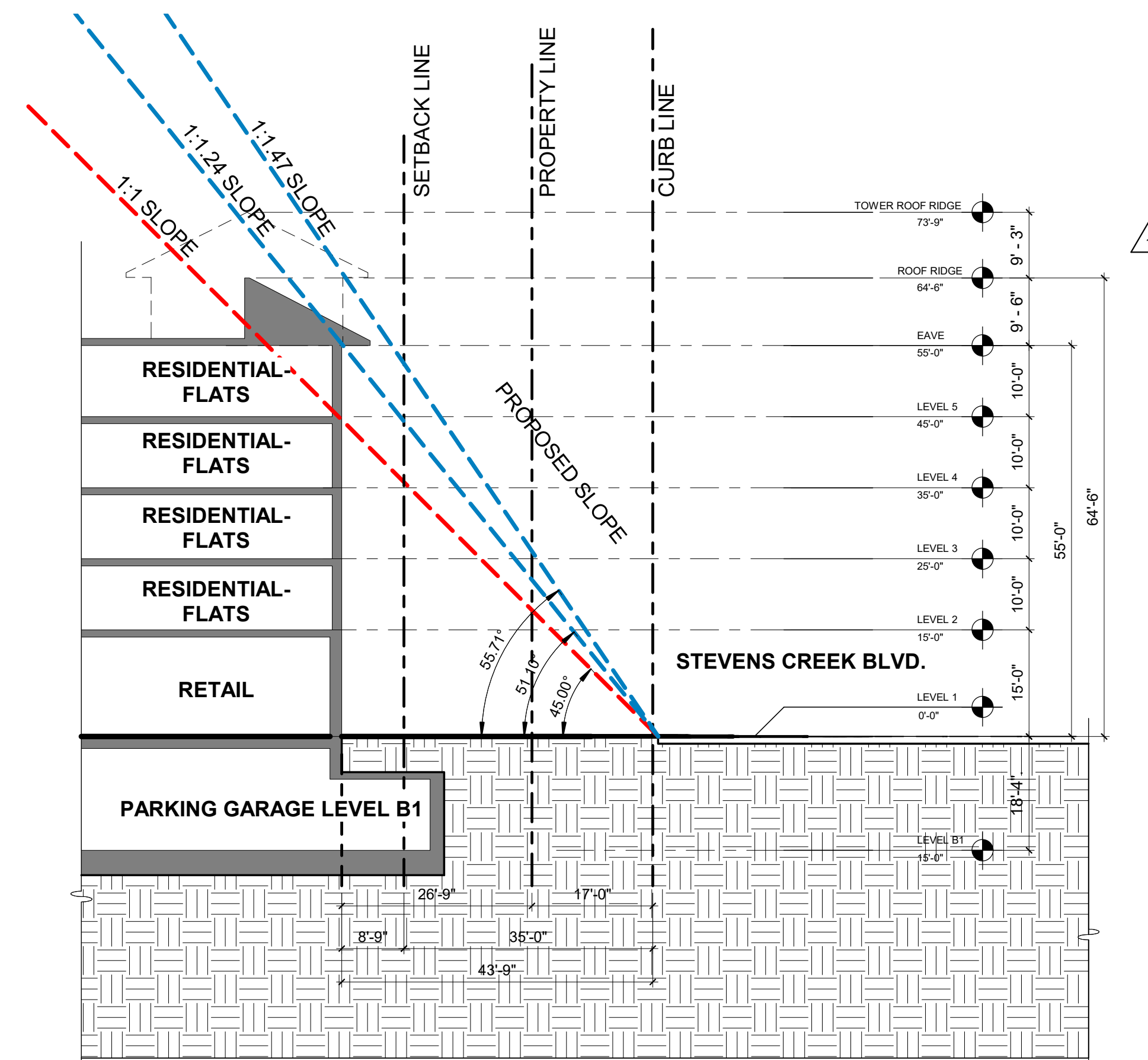
SHEET TITLE:
 SLOPE SETBACKS

SHEET NO.:
G204

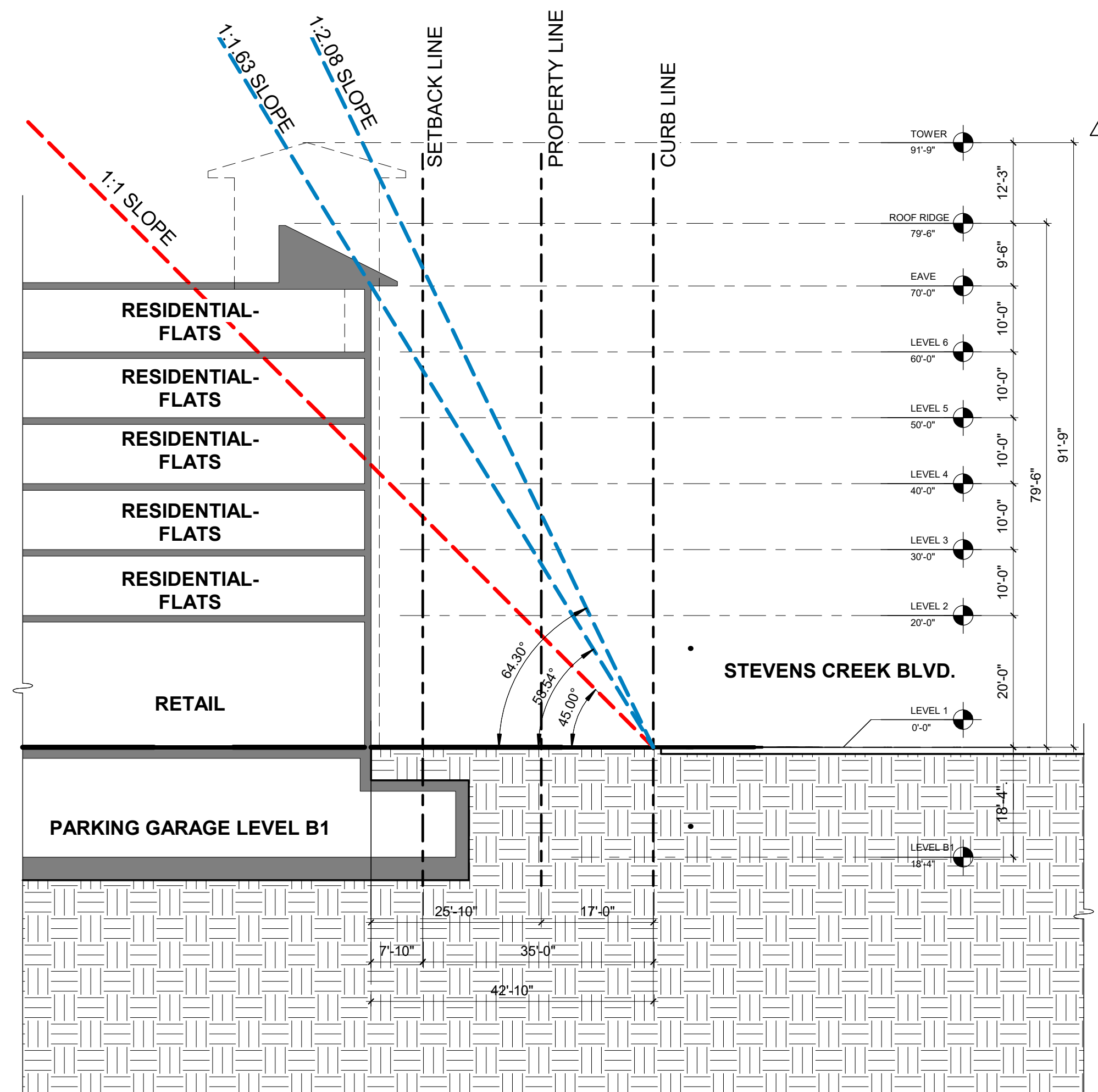
SITE PLAN APPLICATION



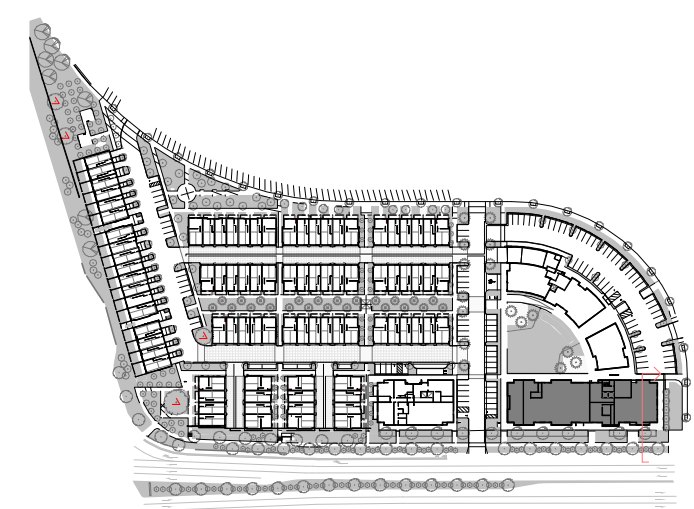
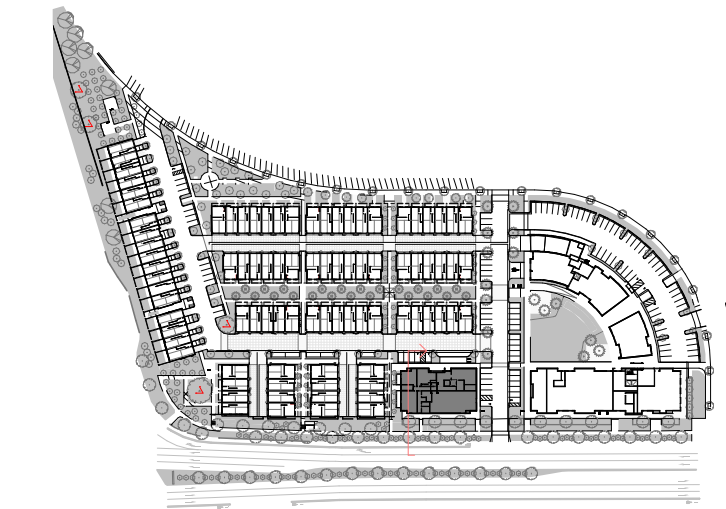
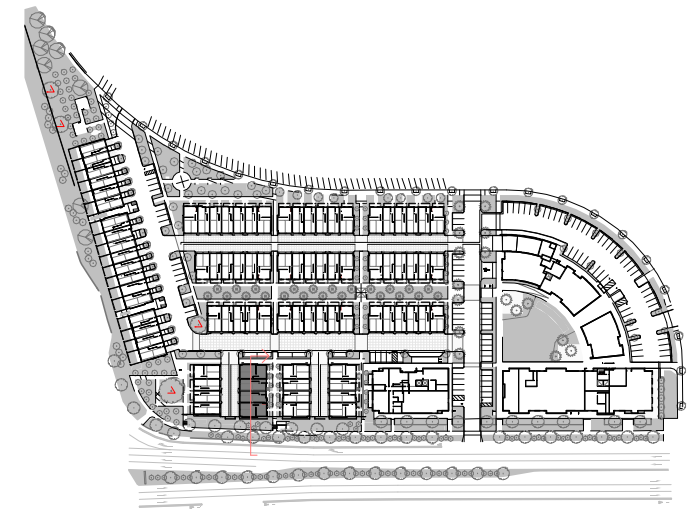
1 TOWNHOUSE
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2 RETAIL-RESIDENTIAL BUILDING 2
 G204 1/16" = 1'-0"



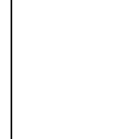
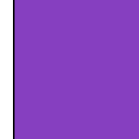


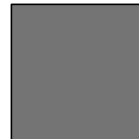

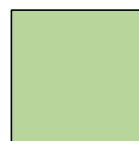
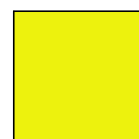
3 RETAIL-RESIDENTIAL BUILDING 1
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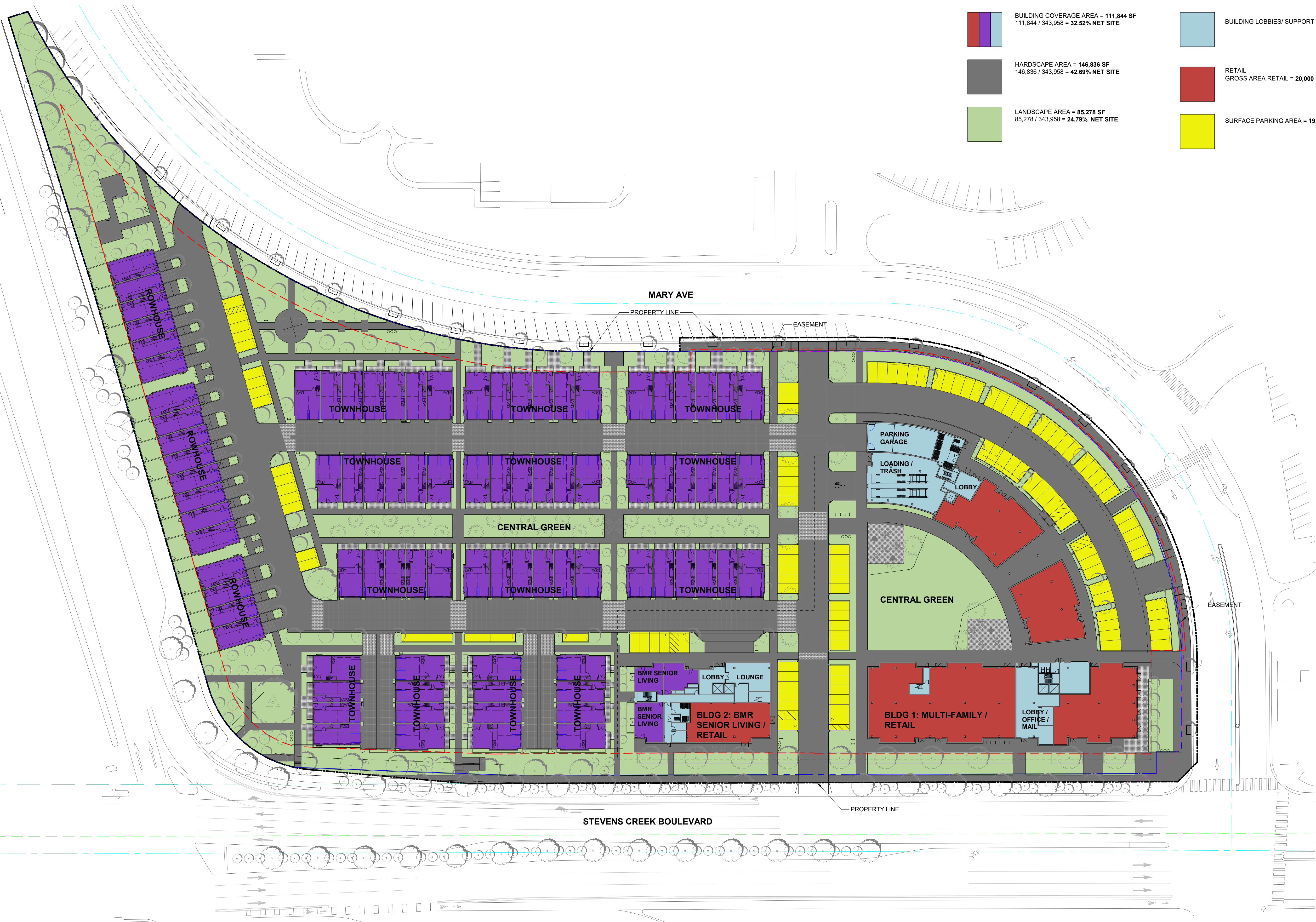


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SITE AREA LEGEND:

	GROSS SITE AREA = 352,836 SF (8.1 Acres) NET SITE AREA = 343,958 SF (7.9 Acres)		RESIDENTIAL
	BUILDING COVERAGE AREA = 111,844 SF 111,844 / 343,958 = 32.52% NET SITE		BUILDING LOBBIES/ SUPPORT SPACE
	HARDSCAPE AREA = 146,836 SF 146,836 / 343,958 = 42.69% NET SITE		RETAIL GROSS AREA RETAIL = 20,000 SF
	LANDSCAPE AREA = 85,278 SF 85,278 / 343,958 = 24.79% NET SITE		SURFACE PARKING AREA = 19,012 SF



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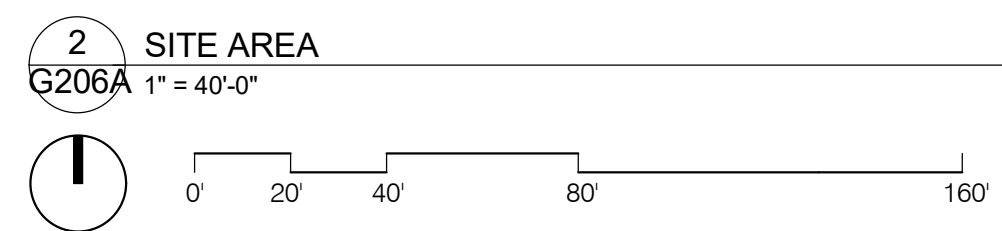
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SITE PLAN APPLICATION

SHEET TITLE:
SITE AREA

SHEET NO.:
G206A



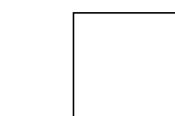
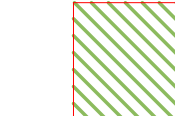
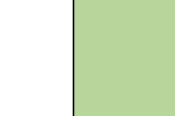
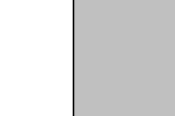
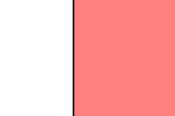
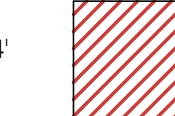
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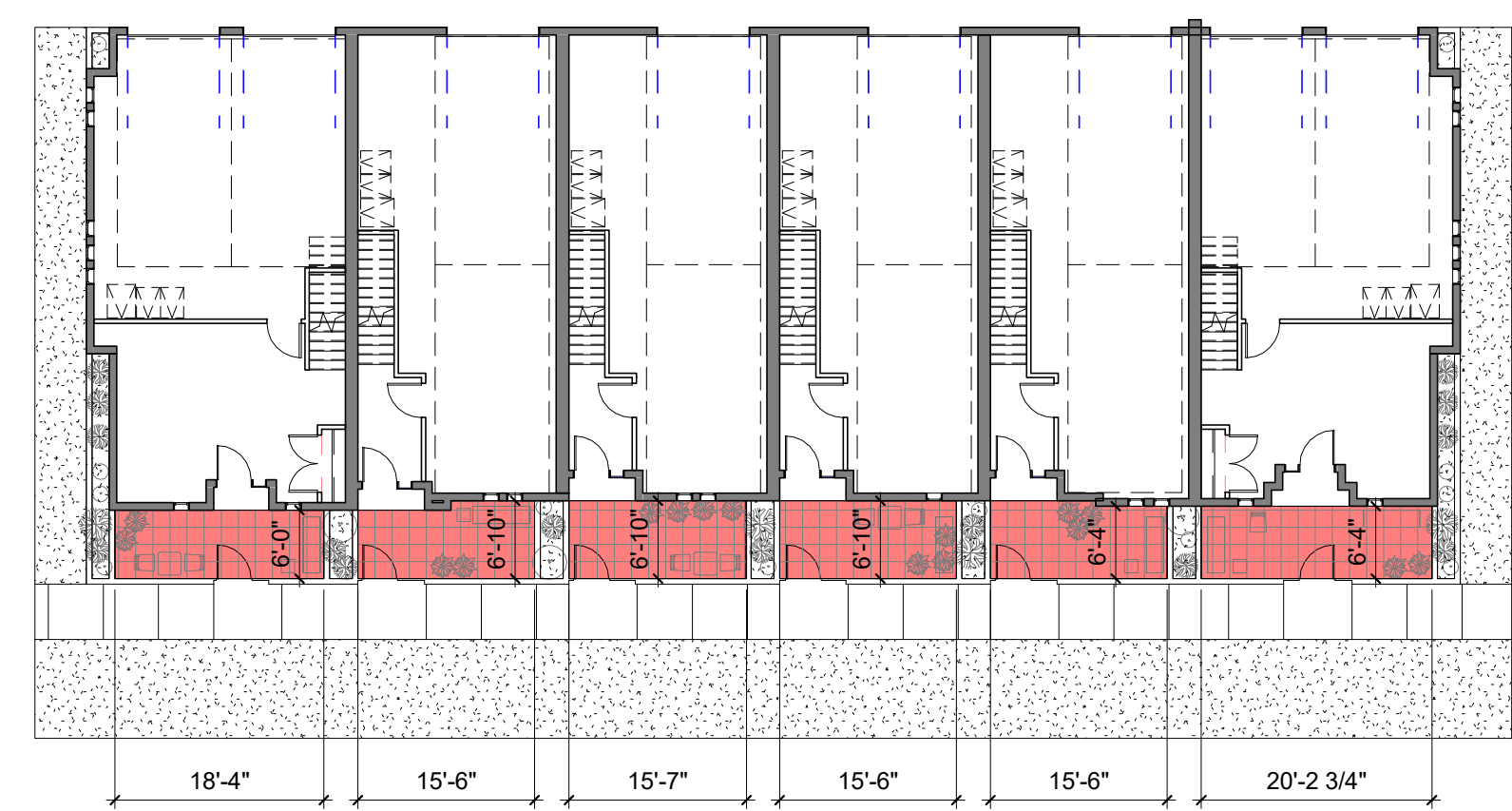
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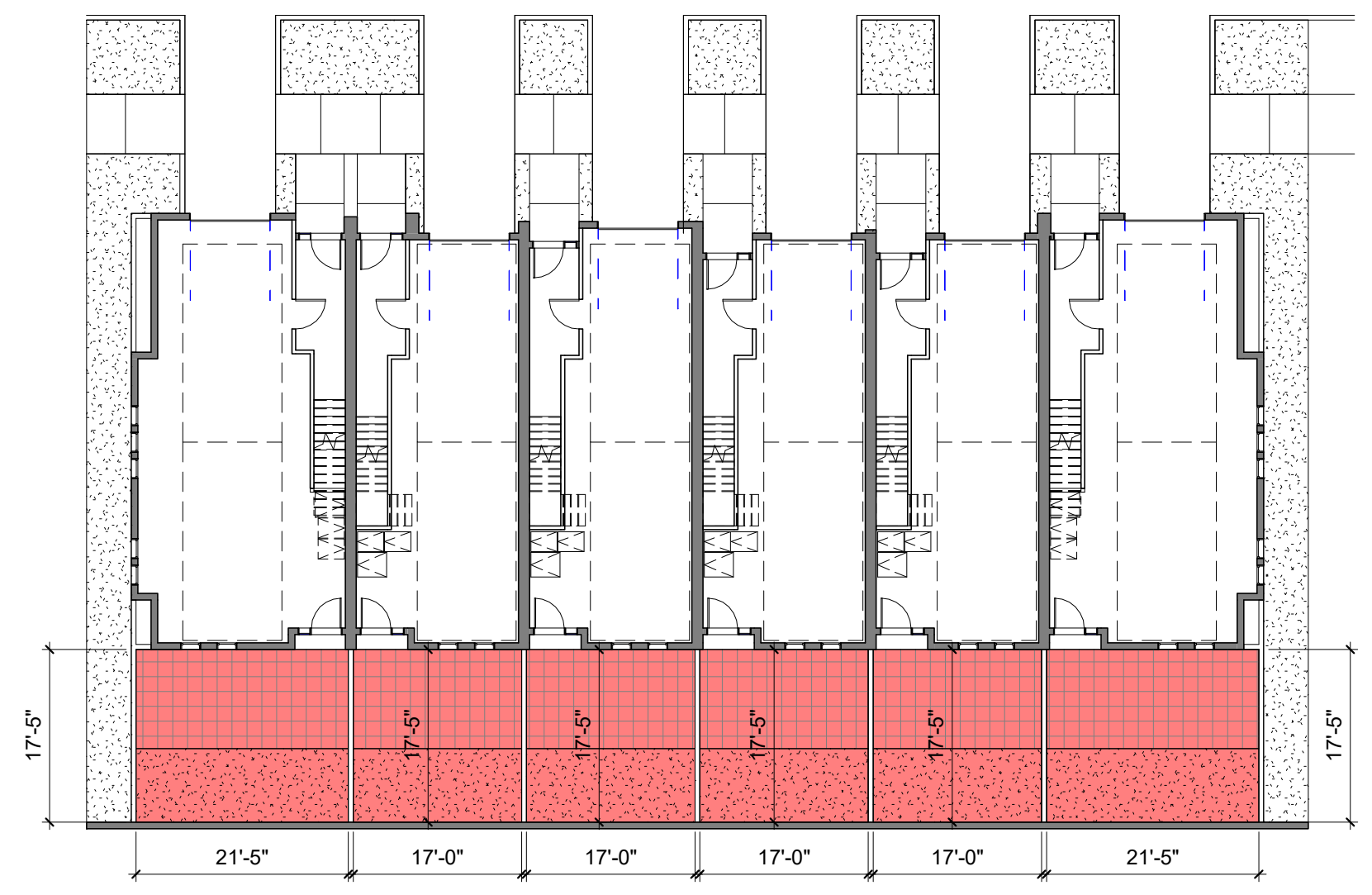
1645 NW HOYT
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503 444 2200

OPEN SPACE LEGEND:

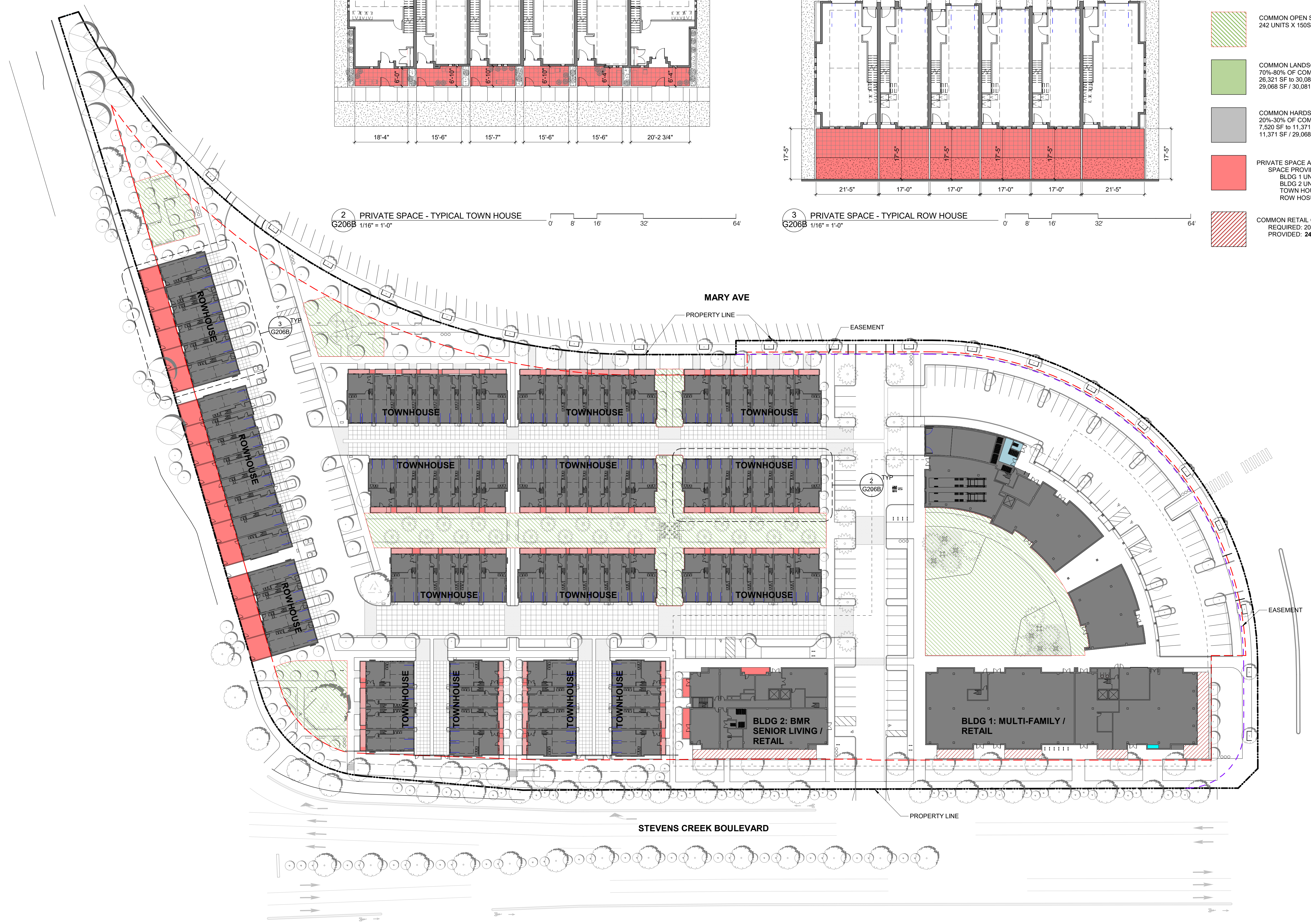
-  GROSS SITE AREA = 352,836 SF (8.1 Acres)
NET SITE AREA = 343,958 SF
-  COMMON OPEN SPACE = 37,601 SF
242 UNITS X 150SF/UNIT = 36,300 SF MIN REQ'D
-  COMMON LANDSCAPE SPACE = 29,068 SF
70%-80% OF COMMON OPEN SPACE REQ'D =
26,321 SF to 30,081 SF REQ'D
29,068 SF / 30,081 SF = 77% PROVIDED
-  COMMON HARDSCAPE SPACE = 11,371 SF
20%-30% OF COMMON OPEN SPACE REQ'D =
7,520 SF to 11,371 SF REQ'D
11,371 SF / 29,068 SF = 39% PROVIDED
-  PRIVATE SPACE AREA: (60 SF/UNIT MIN: MIN 6'-0" DIMENSION)
SPACE PROVIDED PER UNIT TYPE:
BLDG 1 UNITS: 60 SF to 132 SF / UNIT (BALCONY)
BLDG 2 UNITS: 60 SF / UNIT (BALCONY)
TOWNHOUSES: 104 SF to 125 SF / UNIT (PATIO)
ROW HOUSES: 295 SF to 375 SF / UNIT (PATIO)
-  COMMON RETAIL OUTDOOR SPACE:
REQUIRED: 20,000 GSF * 2.5% = 500 SF
PROVIDED: 2400 SF



2 PRIVATE SPACE - TYPICAL TOWN HOUSE
G206B 1/16" = 1'-0"



3 PRIVATE SPACE - TYPICAL ROW HOUSE
G206B 1/16" = 1'-0"



CITY STAMP

**WESTPORT
CUPERTINO**

**PRELIMINARY,
NOT FOR
CONSTRUCTION**

KT URBAN
21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 2018 MAY 11
SITE PLAN APPLICATION

REVISION:	DESCRIPTION:
1 07.13.18	PLANNING COMMENT RESPONSES
2 11.30.18	PLANNING COMMENT RESPONSES

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SITE PLAN APPLICATION

SHEET TITLE:
**COMMON OPEN SPACE /
PRIVATE SPACE**

SHEET NO.:
G206B

1 COMMON OPEN SPACE / PRIVATE SPACE
G206B 1" = 40'-0"

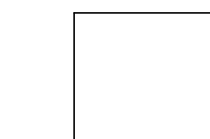
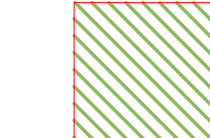


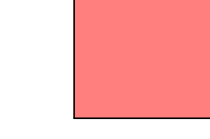
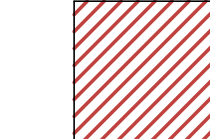
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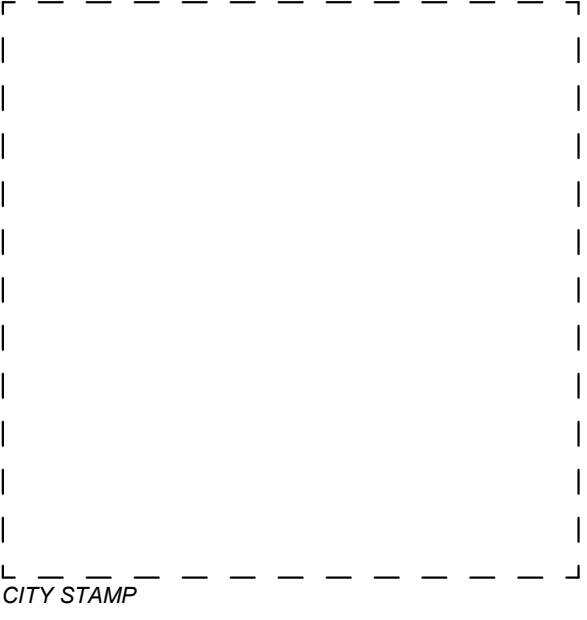
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ARCHITECTURE INC
 1645 NW HOYT
 PORTLAND OREGON 97209
 503 444 2200

OPEN SPACE LEGEND:

-  GROSS SITE AREA = 352,836 SF (8.1 Acres)
NET SITE AREA = 343,958 SF
-  COMMON OPEN SPACE = 37,601 SF
242 UNITS X 150SF/UNIT = 36,300 SF MIN REQ'D
-  COMMON LANDSCAPE SPACE = 29,068 SF
70%-80% OF COMMON OPEN SPACE REQ'D =
26,321 SF to 30,081 SF REQ'D
29,068 SF / 30,081 SF = 77% PROVIDED
-  COMMON HARDSCAPE SPACE = 11,371 SF
20%-30% OF COMMON OPEN SPACE REQ'D =
7,520 SF to 11,371 SF REQ'D
11,371 SF / 29,068 SF = 39% PROVIDED
-  PRIVATE SPACE AREA: (60 SF/UNIT MIN: MIN 6'-0" DIMENSION)
SPACE PROVIDED PER UNIT TYPE:
BLDG 1 UNITS: 60 SF to 132 SF / UNIT (BALCONY)
BLDG 2 UNITS: 60 SF / UNIT (BALCONY)
TOWNHOUSES: 104 SF to 125 SF / UNIT (PATIO)
ROW HOSUES: 295 SF to 375 SF / UNIT (PATIO)
-  COMMON RETAIL OUTDOOR SPACE:
REQUIRED: 20,000 GSF * 2.5% = 500 SF
PROVIDED: 2400 SF



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KT URBAN
**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

PROJECT NO.: 14148
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 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

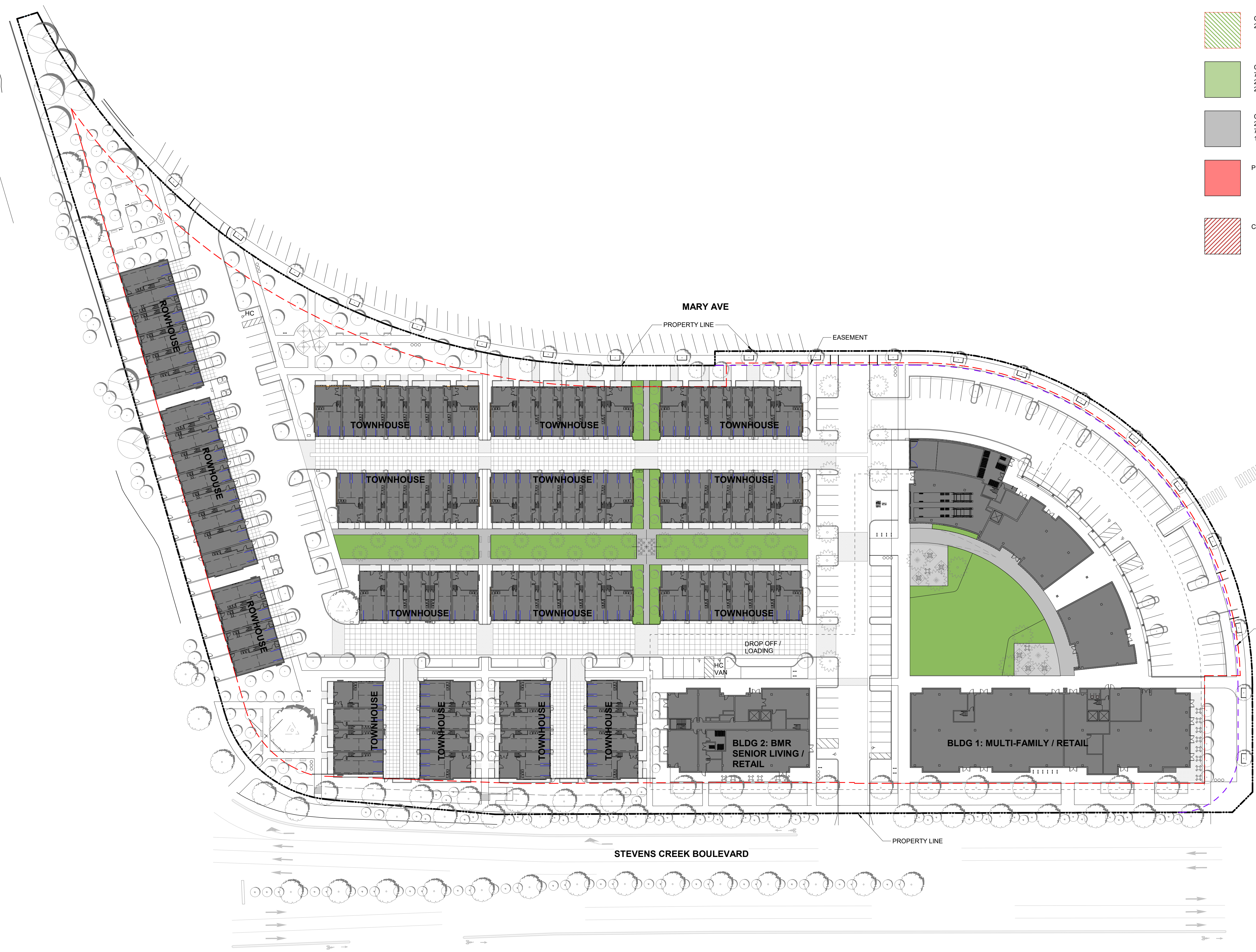
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1 07.13.18	PLANNING COMMENT RESPONSES
2 11.30.18	PLANNING COMMENT RESPONSES

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SITE PLAN APPLICATION

SHEET TITLE:
**COMMON LANDSCAPED/
HARDSCAPED SPACE**

SHEET NO.:
G206C



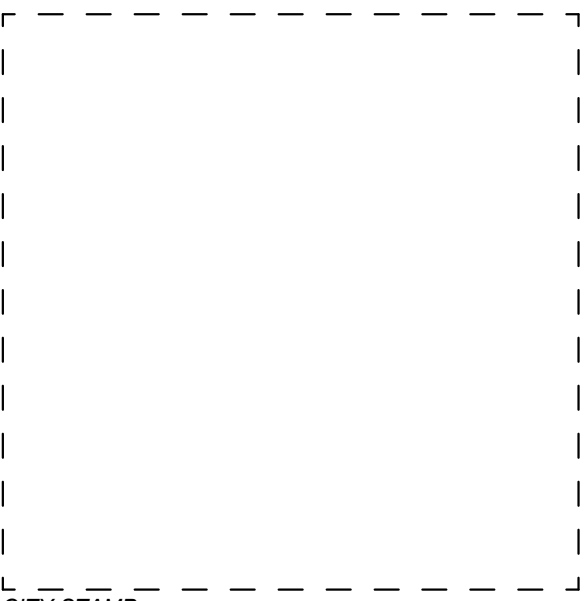
1 COMMON LANDSCAPED/ HARDSCAPED SPACE
 G206C 1" = 40'-0"

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11/30/2018 9:58:49 AM



1645 NW HOYT
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KT URBAN

21267 STEVENS CREEK
 BLVD, CUPERTINO, CA

PROJECT NO.: 14148
 DRAWN: Author
 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

REVISION:	DESCRIPTION:
2	11.30.18

PLANNING
 COMMENT
 RESPONSES

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SHEET TITLE:
 NEIGHBORHOOD SITE PLAN &
 BUILDING HEIGHTS

SHEET NO.:
G207



NORTH

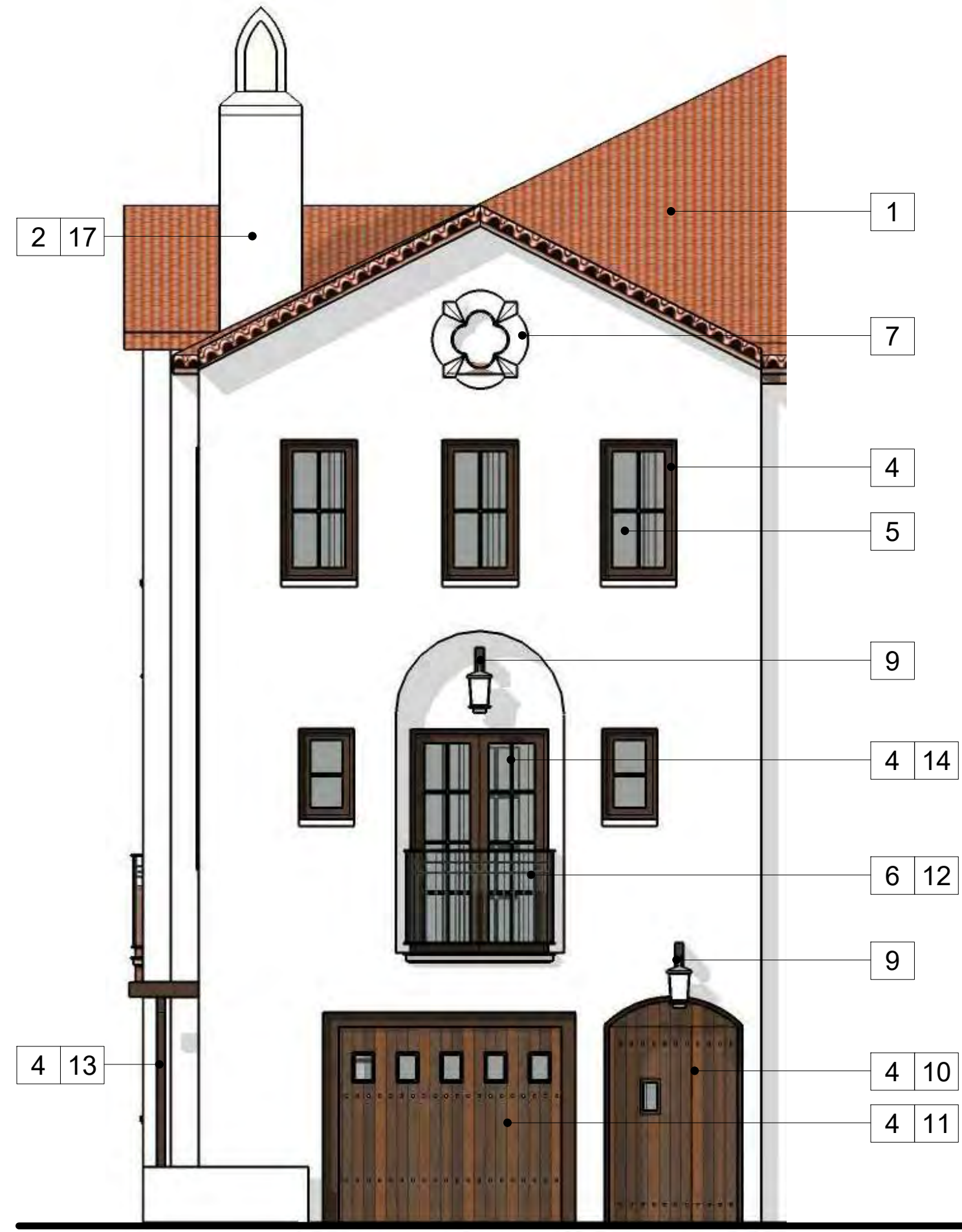
SITE PLAN APPLICATION



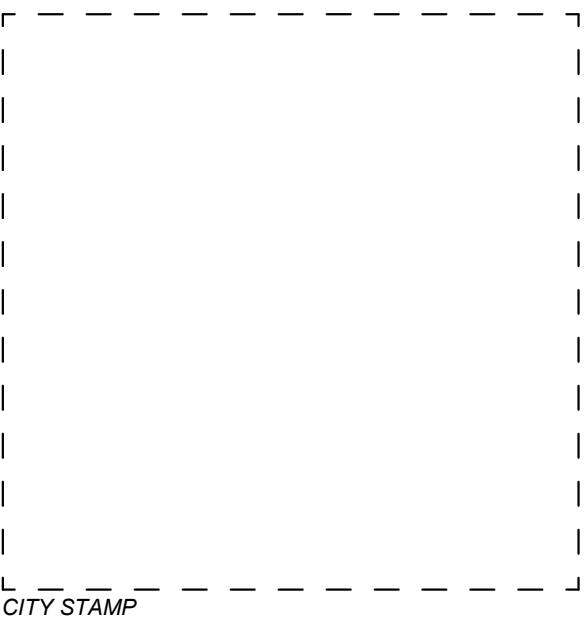


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TOWNHOUSE / ROWHOUSE



RETAIL / RESIDENTIAL



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KT URBAN

**21267 STEVENS CREEK
BLVD, CUPERTINO, CA**

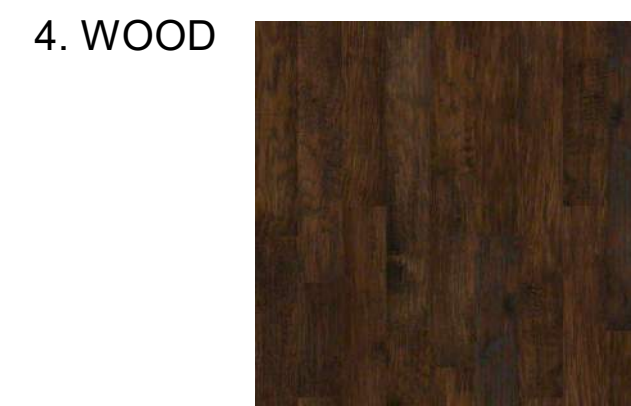
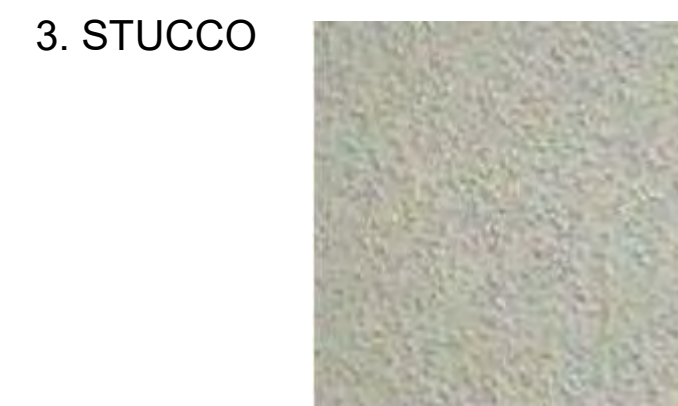
PROJECT NO.: 14148
 DRAWN: Author
 DATE: 2018 MAY 11
 SITE PLAN APPLICATION

REVISION:	DESCRIPTION:	PLANNING COMMENT RESPONSES
1	07.13.18	

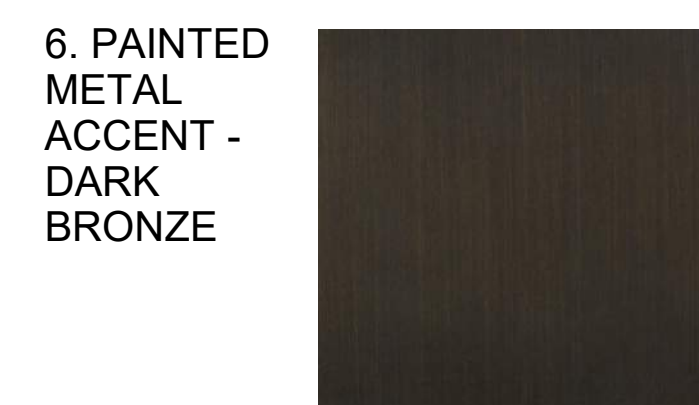
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MATERIAL LEGEND:

NOTE: THERE IS NO COPPER BEING USED ON THE PROJECT



- 10. FRONT ENTRY
- 11. GARAGE
- 12. BALCONY / METAL RAILING
- 13. TRELLIS
- 14. FRENCH DOORS
- 15. SIGNAGE
- 16. CANOPY
- 17. "CHIMNEY" (PLUMBING / VENT STACKS)



SITE PLAN APPLICATION

SHEET TITLE:
PROPOSED MATERIALS

SHEET NO.:
G213

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1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

GENERAL NOTES:

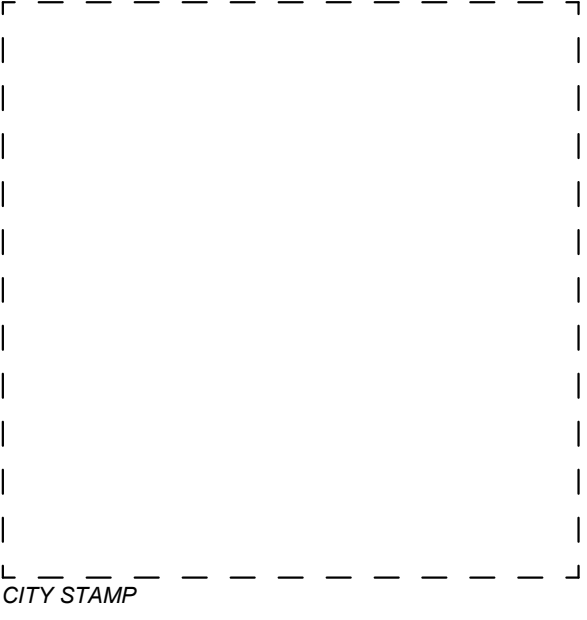
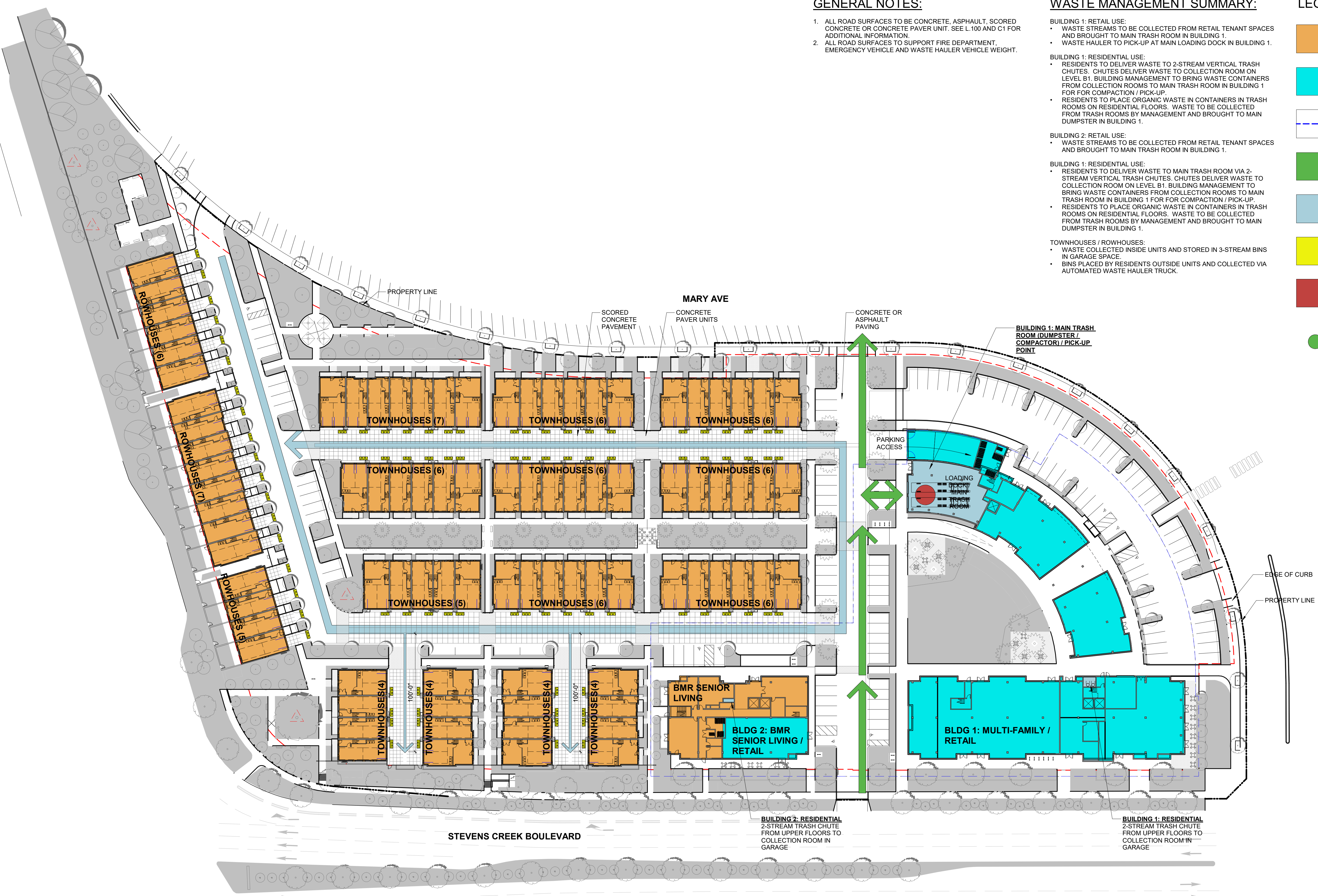
- ALL ROAD SURFACES TO BE CONCRETE, ASPHALT, SCORED CONCRETE OR CONCRETE PAVER UNIT. SEE L.100 AND C1 FOR ADDITIONAL INFORMATION.
- ALL ROAD SURFACES TO SUPPORT FIRE DEPARTMENT, EMERGENCY VEHICLE AND WASTE HAULER VEHICLE WEIGHT.

WASTE MANAGEMENT SUMMARY:

- BUILDING 1: RETAIL USE:**
- WASTE STREAMS TO BE COLLECTED FROM RETAIL TENANT SPACES AND BROUGHT TO MAIN TRASH ROOM IN BUILDING 1.
 - WASTE HAULER TO PICK-UP AT MAIN LOADING DOCK IN BUILDING 1.
- BUILDING 1: RESIDENTIAL USE:**
- RESIDENTS TO DELIVER WASTE TO 2-STREAM VERTICAL TRASH CHUTES. CHUTES DELIVER WASTE TO COLLECTION ROOM ON LEVEL B1. BUILDING MANAGEMENT TO BRING WASTE CONTAINERS FROM COLLECTION ROOMS TO MAIN TRASH ROOM IN BUILDING 1 FOR FOR COMPACTION / PICK-UP.
 - RESIDENTS TO PLACE ORGANIC WASTE IN CONTAINERS IN TRASH ROOMS ON RESIDENTIAL FLOORS. WASTE TO BE COLLECTED FROM TRASH ROOMS BY MANAGEMENT AND BROUGHT TO MAIN DUMPSTER IN BUILDING 1.
- BUILDING 2: RETAIL USE:**
- WASTE STREAMS TO BE COLLECTED FROM RETAIL TENANT SPACES AND BROUGHT TO MAIN TRASH ROOM IN BUILDING 1.
- BUILDING 1: RESIDENTIAL USE:**
- RESIDENTS TO DELIVER WASTE TO MAIN TRASH ROOM VIA 2-STREAM VERTICAL TRASH CHUTES. CHUTES DELIVER WASTE TO COLLECTION ROOM ON LEVEL B1. BUILDING MANAGEMENT TO BRING WASTE CONTAINERS FROM COLLECTION ROOMS TO MAIN TRASH ROOM IN BUILDING 1 FOR FOR COMPACTION / PICK-UP.
 - RESIDENTS TO PLACE ORGANIC WASTE IN CONTAINERS IN TRASH ROOMS ON RESIDENTIAL FLOORS. WASTE TO BE COLLECTED FROM TRASH ROOMS BY MANAGEMENT AND BROUGHT TO MAIN DUMPSTER IN BUILDING 1.
- TOWNHOUSES / ROWHOUSES:**
- WASTE COLLECTED INSIDE UNITS AND STORED IN 3-STREAM BINS IN GARAGE SPACE.
 - BINS PLACED BY RESIDENTS OUTSIDE UNITS AND COLLECTED VIA AUTOMATED WASTE HAULER TRUCK.

LEGEND:

- RESIDENTIAL AREA
- RETAIL WITH RESIDENTIAL ABOVE
- OUTLINE OF PARKING GARAGE BELOW
- MIXED USE BUILDINGS TRASH ROUTE
- TOWNHOUSE / ROWHOUSE TRASH ROUTE
- TOWNHOUSE / ROWHOUSE BIN PICK-UP POINT
- MIXED USE BUILDINGS BIN PICK-UP POINT
- PROPOSED TRIO WASTE BINS (WASTE/ RECYCLE/ COMPOST) AND CIGARETTE BUTT URN



WESTPORT CUPERTINO

PRELIMINARY,
NOT FOR CONSTRUCTION

KT URBAN
21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 2018 MAY 11
SITE PLAN APPLICATION

REVISION:	DESCRIPTION:
1 07.13.18	PLANNING COMMENT RESPONSES
2 11.30.18	PLANNING COMMENT RESPONSES

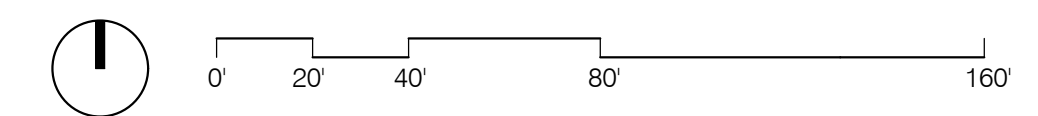
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SITE PLAN APPLICATION

SHEET TITLE:
TRUCK & GARBAGE ROUTES

SHEET NO.:
G300

1 ARCHITECTURAL SITE PLAN - TRUCK & GARBAGE ROUTES
G300 1" = 40'-0"



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1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

WASTE MANAGEMENT SUMMARY:

BUILDING 1: RETAIL USE:

- WASTE STREAMS TO BE COLLECTED FROM RETAIL TENANT SPACES AND BROUGHT TO MAIN TRASH ROOM IN BUILDING 1.
- WASTE HAULER TO PICK-UP AT MAIN LOADING DOCK IN BUILDING 1.

BUILDING 1: RESIDENTIAL USE:

- RESIDENTS TO DELIVER WASTE TO 2-STREAM VERTICAL TRASH CHUTES. CHUTES DELIVER WASTE TO COLLECTION ROOM ON LEVEL B1. BUILDING MANAGEMENT TO BRING WASTE CONTAINERS FROM COLLECTION ROOMS TO MAIN TRASH ROOM IN BUILDING 1 FOR FOR COMPACTION / PICK-UP.
- RESIDENTS TO PLACE ORGANIC WASTE IN CONTAINERS IN TRASH ROOMS ON RESIDENTIAL FLOORS. WASTE TO BE COLLECTED FROM TRASH ROOMS BY MANAGEMENT AND BROUGHT TO MAIN DUMPSTER IN BUILDING 1.

BUILDING 2: RETAIL USE:

- RETAIL TENANT TO PLACE WASTE IN 3-STREAM CONTAINERS IN TRASH HOLDING ROOM. WASTE CONTAINERS TO BE COLLECTED FROM TRASH ROOM AND BROUGHT TO MAIN TRASH ROOM FOR COMPACTION AND PICK-UP.

BUILDING 1: RESIDENTIAL USE:

- RESIDENTS TO DELIVER WASTE TO MAIN TRASH ROOM VIA 2-STREAM VERTICAL TRASH CHUTES. CHUTES DELIVER WASTE TO COLLECTION ROOM ON LEVEL B1. BUILDING MANAGEMENT TO BRING WASTE CONTAINERS FROM COLLECTION ROOMS TO MAIN TRASH ROOM IN BUILDING 1 FOR FOR COMPACTION / PICK-UP.
- RESIDENTS TO PLACE ORGANIC WASTE IN CONTAINERS IN TRASH ROOMS ON RESIDENTIAL FLOORS. WASTE TO BE COLLECTED FROM TRASH ROOMS BY MANAGEMENT AND BROUGHT TO MAIN DUMPSTER IN BUILDING 1.

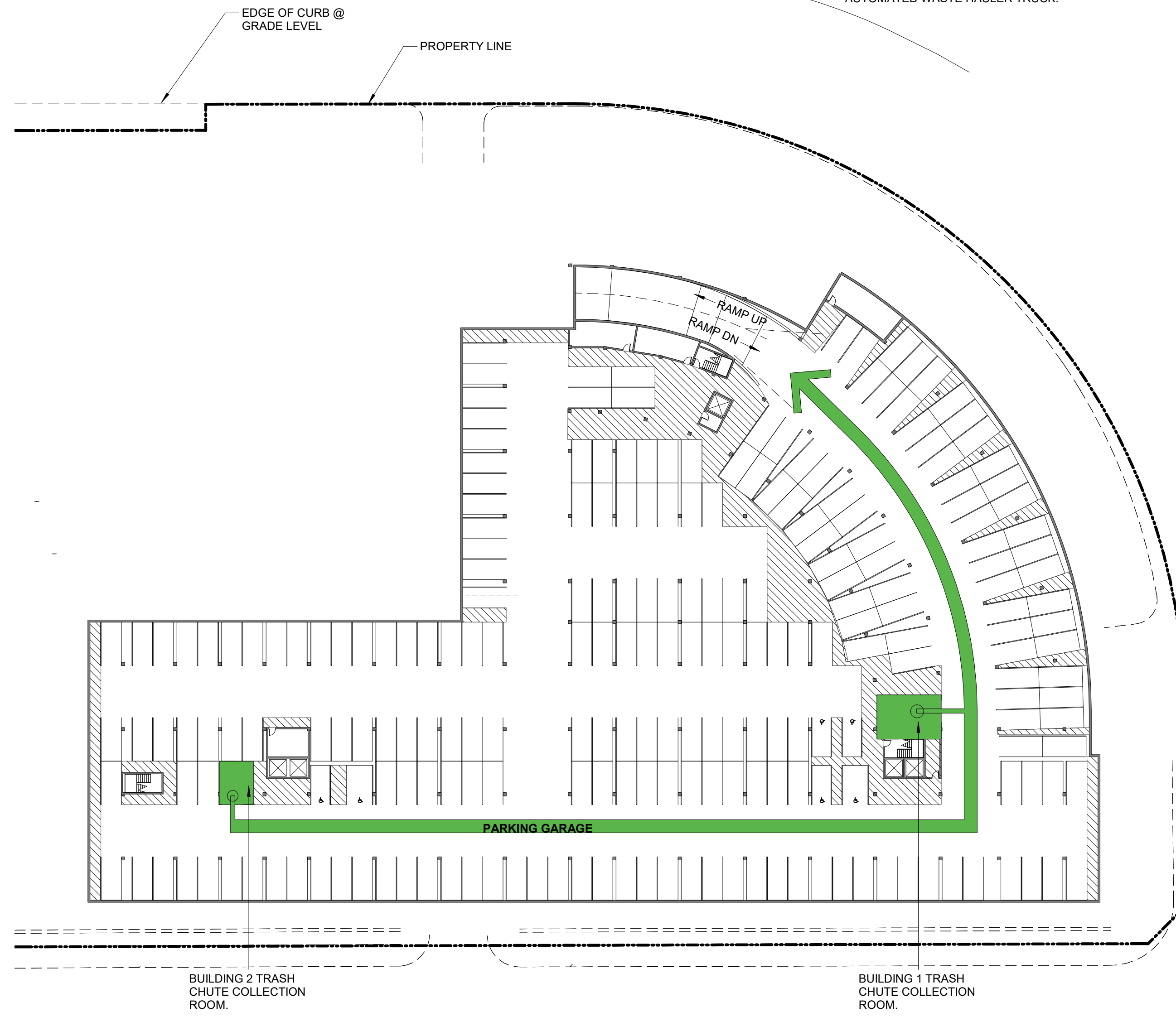
TOWNHOUSES / ROWHOUSES:

- WASTE COLLECTED INSIDE UNITS AND STORED IN 3-STREAM BINS IN GARAGE SPACE.
- BINS PLACED BY RESIDENTS OUTSIDE UNITS AND COLLECTED VIA AUTOMATED WASTE HAULER TRUCK.

LEGEND:

- RESIDENTIAL AREA
- RETAIL WITH RESIDENTIAL ABOVE
- OUTLINE OF PARKING GARAGE BELOW
- MIXED USE BUILDINGS TRASH ROUTE
- TOWNHOUSE / ROWHOUSE TRASH ROUTE
- TOWNHOUSE / ROWHOUSE BIN PICK-UP POINT
- MIXED USE BUILDINGS BIN PICK-UP POINT

CITY STAMP



WESTPORT CUPERTINO

**PRELIMINARY,
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KT URBAN
21267 STEVENS CREEK
BLVD, CUPERTINO, CA

PROJECT NO.: 14148
DRAWN: Author
DATE: 2018 MAY 11
SITE PLAN APPLICATION

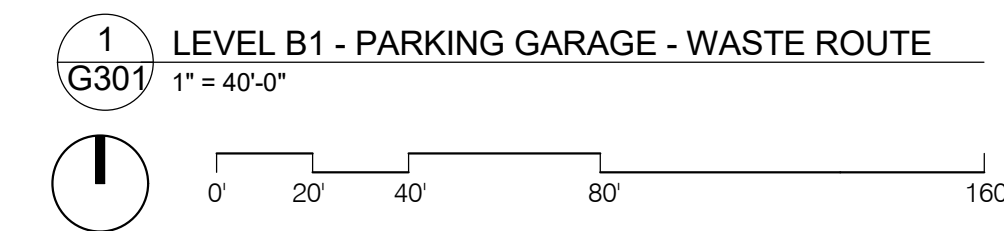
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2	11.30.18 PLANNING COMMENT RESPONSES

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SITE PLAN APPLICATION

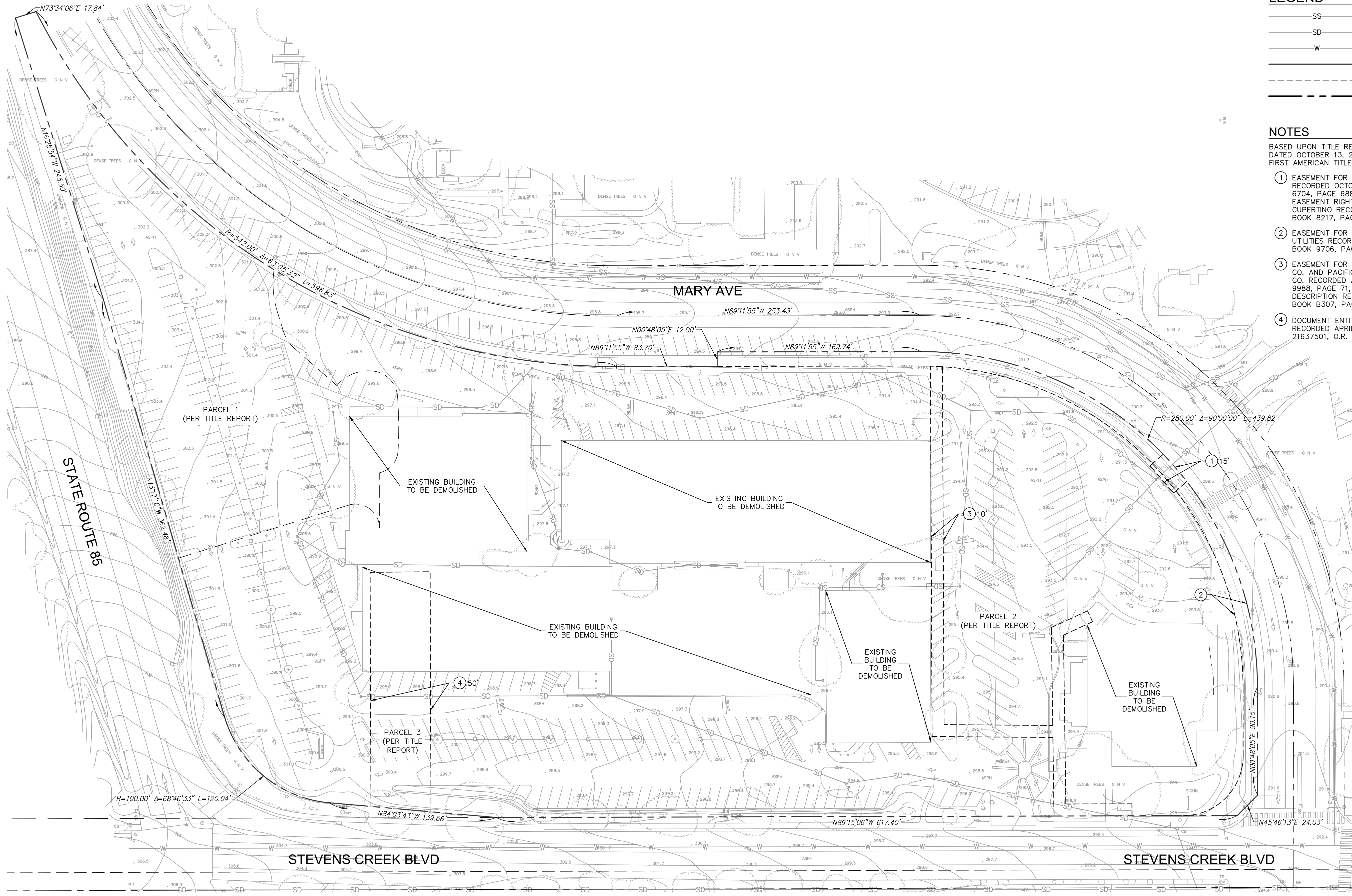
SHEET TITLE:
TRUCK & GARBAGE ROUTES

SHEET NO.:
G301



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LEGEND

- SS — SANITARY SEWER
- SD — STORM DRAIN
- W — WATER
- LOT LINE
- - - - - EASEMENT
- PROPERTY LINE

NOTES

BASED UPON TITLE REPORT NO. NCS-758530-SC, DATED OCTOBER 13, 2015 AND PREPARED BY FIRST AMERICAN TITLE COMPANY.

- 1 EASEMENT FOR DRAINAGE PURPOSES RECORDED OCTOBER 16, 1964 IN BOOK 6704, PAGE 688 O.R., RELINQUISHMENT OF EASEMENT RIGHTS TO THE CITY OF CUPERTINO RECORDED AUGUST 6, 1968 IN BOOK 8217, PAGE 613 O.R.
- 2 EASEMENT FOR PUBLIC ROADWAY AND UTILITIES RECORDED FEBRUARY 16, 1972 IN BOOK 9706, PAGE 155, O.R.
- 3 EASEMENT FOR PACIFIC GAS & ELECTRIC CO. AND PACIFIC TELEPHONE AND TELEGRAPH CO. RECORDED AUGUST 24, 1972 IN BOOK 9988, PAGE 71, O.R., NOTICE OF FINAL DESCRIPTION RECORDED MARCH 6, 1975 INK BOOK 8307, PAGE 583, O.R.
- 4 DOCUMENT ENTITLED 'EASEMENT GRANT' RECORDED APRIL 25, 2012 AS INST. NO. 21637501, O.R.



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WESTPORT CUPERTINO

KT URBAN
21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO. 14148
 DRAWN: Author
 DATE: 2018 JULY 13
 SITE PLAN APPLICATION

REVISION: DESCRIPTION:

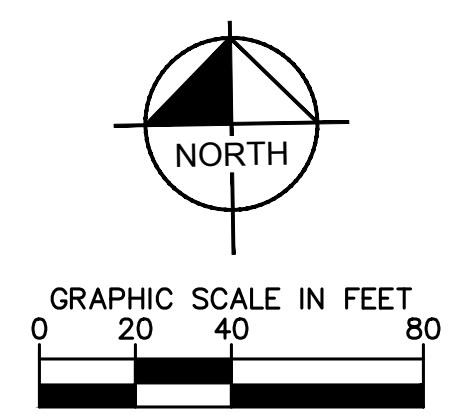
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SITE PLAN APPLICATION

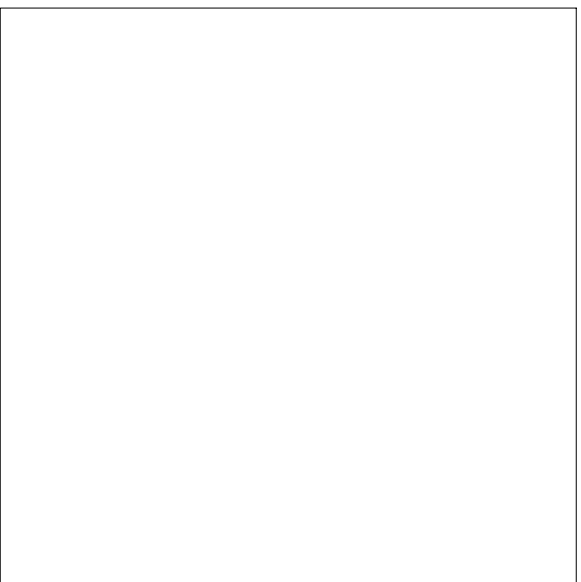
SHEET TITLE:
EXISTING CONDITIONS

SHEET NO.:
C0





ARCHITECTURE INC
 1645 NW HOYT
 PORTLAND OREGON 97209
 503 444 2200



CITY STAMP

WESTPORT CUPERTINO

KT URBAN
 21267 STEVENS CREEK BLVD, CUPERTINO, CA

PROJECT NO. 14148
 DRAWN: Author
 DATE: 2018 JULY 13
 SITE PLAN APPLICATION

REVISION	DESCRIPTION
1	7.13.18 PLANNING COMMENT RESPONSES
2	11.30.18 PLANNING COMMENT RESPONSES
3	02.27.19 PLANNING COMMENT RESPONSES

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SITE PLAN APPLICATION

SHEET TITLE:
**PRELIMINARY
 GRADING PLAN**

SHEET NO.:

C1

